

CHAPTER 2.

FORM DISTRICTS

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DIVISION 2.1. GENERAL PROVISIONS

Sec. 2.1.1. How to Use this Chapter

A. Form District Pages

- 1. Each Form District is formatted on a set of pages, identifying the standards specific to each Form District. The pages are formatted as a set of graphics and tables, with lot standards on the first page and building standards on the second page.
- 2. The tables are organized into categories of district standards, with specific standards listed below each category. Each district standard category provides a linked reference to the Rules for Form Districts, where the standards within that category are explained in further detail.

B. Rules for Form Districts

- 1. Chapter 3. Rules for Form Districts describes the standards for Form Districts in detail. Each requirement includes a definition, intent statement, applicability, standards for meeting the requirement, rules for measurement, exceptions and relief, if any.
- 2. Chapter 3. Rules for Form Districts is generally organized in the same order as the tables in the Form District pages. Chapter 3. Rules for Form Districts starts with a set of general terms and designations that includes definitions and standards for terminology primarily used in this Chapter. Definitions and standards for terms used more broadly throughout the Code are found in Chapter 10. General Standards and Definitions.

District Page

Step 1: Find Your District Page

Step 2: Review Your District Standards

Step 3: Learn More About Your Standards

RESIDENTIAL MIXED USE

2.3.2. RX-3 RESIDENTIAL MIXED USE 3

A LOT

Standard

Specification for Standard

1. LOT SIZE

Sec. 2.10.2

Area (min)

Width (min)

Front access

Side / rear access

2. DENSITY

Sec. 2.10.3

Dwellings per lot (max)

3. COVERAGE

Sec. 2.10.4

Building coverage (max)

Outdoor amenity space (min)

4. BUILDING SETBACKS

Sec. 2.10.5

Primary street lot line (min/max)

Side street lot line (min/max)

Side lot line (min)

Rear lot line (min)

Alley lot line (min)

5. BUILD-TO

Sec. 2.10.6

Build-to width (min)

Primary street

Side street

6. TRANSITION

Sec. 2.10.7

Transition type

7. PARKING LOCATION

Sec. 2.10.8

Front yard

Side street yard

Side yard

Rear yard

Link to Standards

Rules for Zoning Districts

2.10.2. Lot Size

A. Area

The total square footage within the boundaries of a lot.

1. Intent

To facilitate the creation of a convenient, attractive, and harmonious community by ensuring newly established lots are generally consistent with desirable development patterns in the neighborhood and within the same zoning district.

2. Applicability

a. The minimum area requirement applies to lots approved and recorded on or after the effective date of this Development Code.

b. Any use allowed in the zoning district may be established on a lot lawfully created and recorded before the effective date of this Development Code, regardless of size of the lot, provided, that all other requirements of this Development Code are met.

c. Where sublots are permitted, lot area is calculated for each lot, not individual sublots.

3. Standards

Every lot must have an area no less than the minimum lot area required by the zoning district.

Sec. 2.1.2. **Applicability**

A. **Form District Standards**

1. Form District standards apply based on the types of project activities proposed, as shown in the table below. Typically, more than one project activity will apply to a proposed project (for example, an expansion of an existing use may include both an addition and a facade modification).

FORM DISTRICT STANDARDS		PROJECT ACTIVITY						
		New Construction	Addition	Site Modification	Facade Modification	Change of Use	Renovation	Maintenance and Repair
<u>Lot Size</u>	<u>Sec. XX.XX.</u>	○	○	○	○	○	○	○
<u>Density</u>	<u>Sec. XX.XX.</u>	●	●	○	○	●	●	○
<u>Coverage</u>	<u>Sec. XX.XX.</u>	●	●	●	○	○	○	○
<u>Streetscapes</u>	<u>Sec. XX.XX.</u>	●	●	●	○	○	○	○
<u>Building Setbacks</u>	<u>Sec. XX.XX.</u>	●	●	○	○	○	○	○
<u>Build-To</u>	<u>Sec. XX.XX.</u>	●	●	○	○	○	○	○
<u>Transition</u>	<u>Sec. XX.XX.</u>	●	●	●	○	●	○	○
<u>Parking Location</u>	<u>Sec. XX.XX.</u>	●	●	●	○	○	○	○
<u>Massing</u>	<u>Sec. XX.XX.</u>	●	●	○	○	○	○	○
<u>Activation</u>	<u>Sec. XX.XX.</u>	●	●	○	○	○	○	○
<u>Ground Story</u>	<u>Sec. XX.XX.</u>	●	●	○	○	○	○	○
<u>Windows and Doors</u>	<u>Sec. XX.XX.</u>	●	●	○	●	○	○	○
<u>Fences and Walls</u>	<u>Sec. XX.XX.</u>	●	●	●	○	●	○	○

KEY: ● = Standards generally apply ○ = Standards do not apply

2. Project activity is defined in Chapter 10. General Standards and Definitions.
3. Where a standard is listed as applying, and the Form District includes standards for that requirement, all applicable standards must be met. The applicable standards may be further modified by the applicability provisions in Chapter 3. Rules for Form Districts. For existing buildings and uses, applicability may also be modified by Chapter 9. Nonconformities.

B. **Relationship to Use Districts**

Some Form Districts have standards that vary based on use. Whether or not a certain use is allowed is determined by Use District, not the Form District. If a use is allowed by the Use District, then the use must meet the standards in the Form District. For uses with additional standards listed in Div. 4.4. Use Standards, the Use District supersedes any conflicting standard listed in the Form District.

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DIVISION 2.2. HOUSE-SCALE DISTRICTS

PLACEHOLDER
FOR GRAPHIC

Sec. 2.2.1. Intent

House-Scale Form Districts are intended to accommodate the lowest-intensity areas with large lot sizes and low lot coverage, and are generally in areas with limited walkability to retail, service, and other commercial uses. CN1 and CN2 Form Districts are intended to require that new residential buildings match the existing development patterns of their surroundings.

House-Scale Form Districts are almost always paired with Use Districts that primarily allow household living uses and some civic uses.

House-scale and Conservation districts are generally intended for areas designated as Conservation-Rural and Conservation-Suburban in Atlanta City Design.

Sec. 2.2.2. Summary of Districts

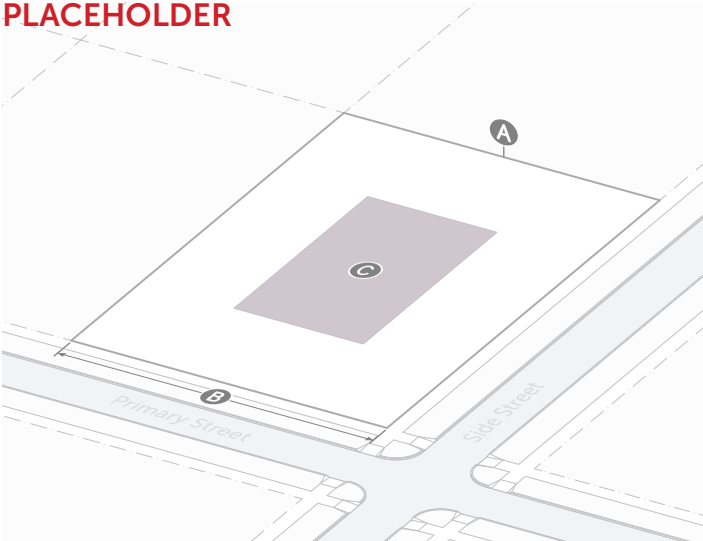
The following table includes a summary of some requirements for each [House-Scale Form District](#). Detailed requirements are further described in this Division.

HOUSE-SCALE DISTRICTS					
District	Lot Area (min)	Lot Width (min)	Dwelling Units (max)	FAR (NLA max)	Height (max)
H1	2 acres	200'	1	0.25	3 stories / 35'
H2	1 acre	150'	1	0.30	3 stories / 35'
H3	30,000 sf	100'	1	0.35	3 stories / 35'
H4	28,000 sf	100'	1	0.40	3 stories / 35'
H5	18,000 sf	100'	1	0.40	3 stories / 35'
H6	13,500 sf	85'	1	0.45	3 stories / 35'
CN1	13,500 sf	85'	1	0.45	Match existing
CN2	9,000 sf	70'	1	0.50	Match existing

SEC. 2.2.3. ~~H1 RESIDENTIAL~~ HOUSE 1

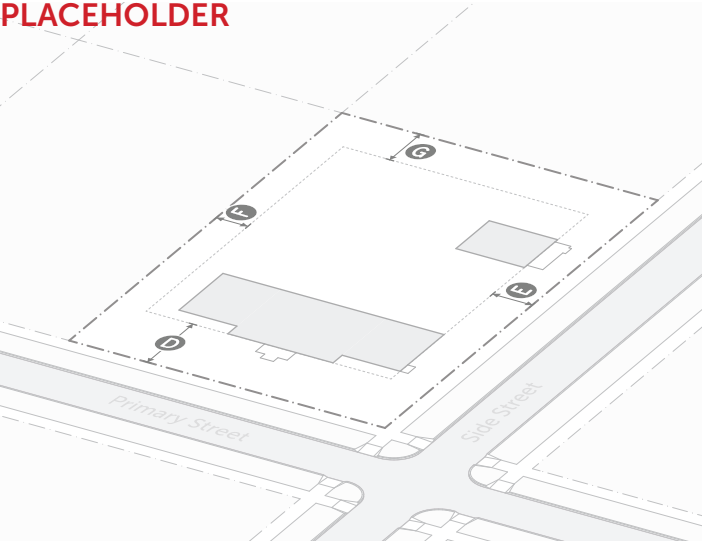
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	2 acres
B Width (min)	200'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.25
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	25%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Not required
Pedestrian walk zone	Not required

PLACEHOLDER

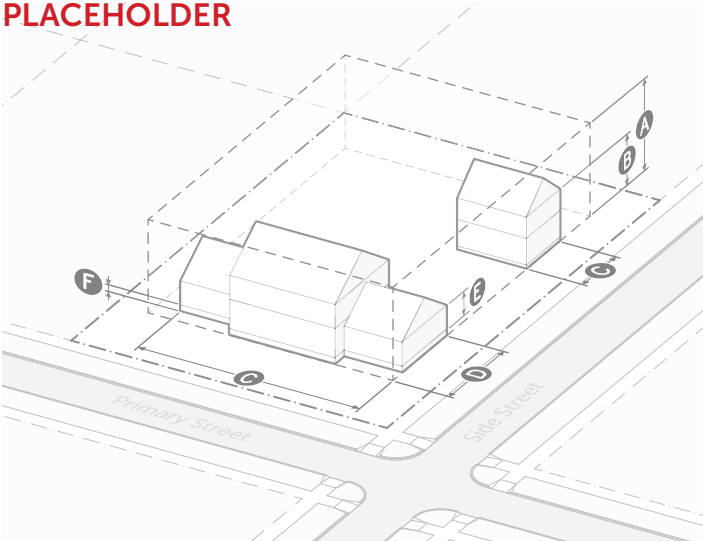


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 60'
E Side street	30'
F Side setback (min)	30'
G Rear alley setback (min)	40'
6. Parking Location	Sec. XX.XX.
Front yard Primary street setback	Driveway only
Side street yard setback	Driveway only
Side / rear yard setback	Allowed

~~H1 RESIDENTIAL~~ HOUSE 1

B. Building Standards

PLACEHOLDER

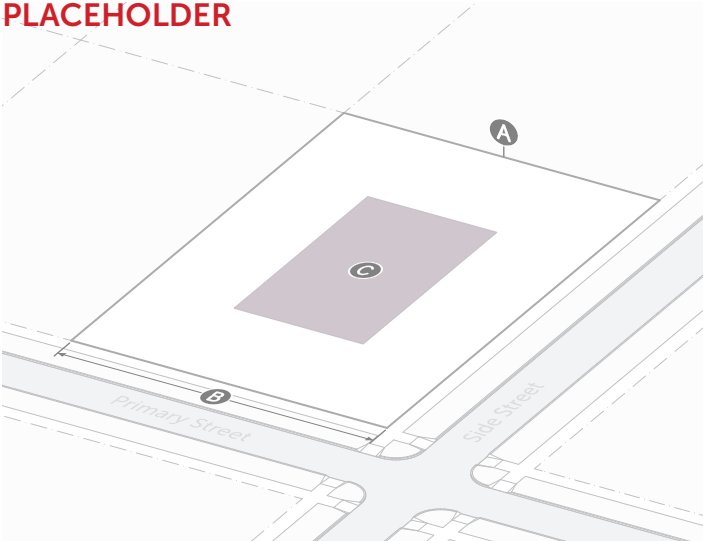


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Front yard Primary street setback	Type 1
Side street yard setback	Type 2
Side / rear yard setback	Type 3

SEC. 2.2.4. ~~H2 RESIDENTIAL~~ HOUSE 2

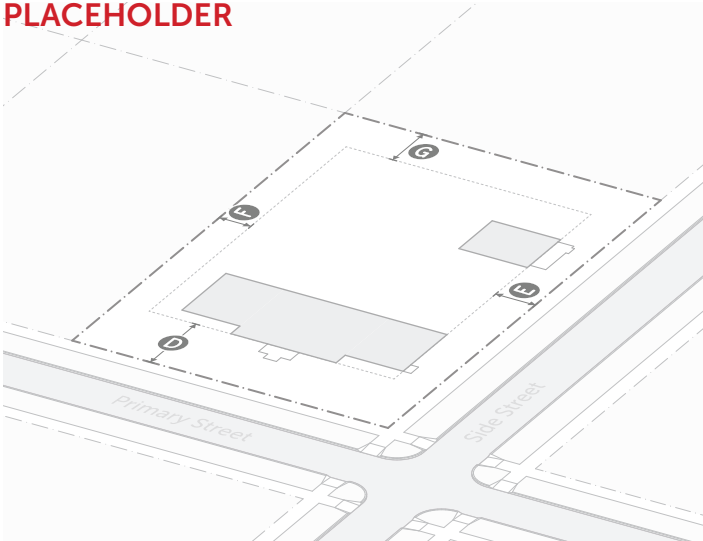
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	1 acre
B Width (min)	150'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.3
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	35%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Not required
Pedestrian walk zone	Not required

PLACEHOLDER

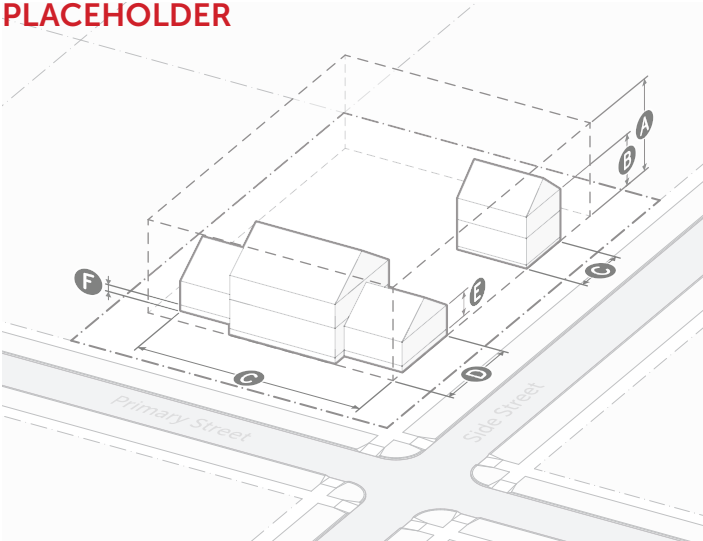


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 60'
E Side street	30'
F Side setback (min)	15'
G Rear alley setback (min)	30'
6. Parking Location	Sec. XX.XX.
Front yard Primary street setback	Driveway only
Side street yard setback	Driveway only
Side / rear yard setback	Allowed

~~H2 RESIDENTIAL~~ HOUSE 2

B. Building Standards

PLACEHOLDER

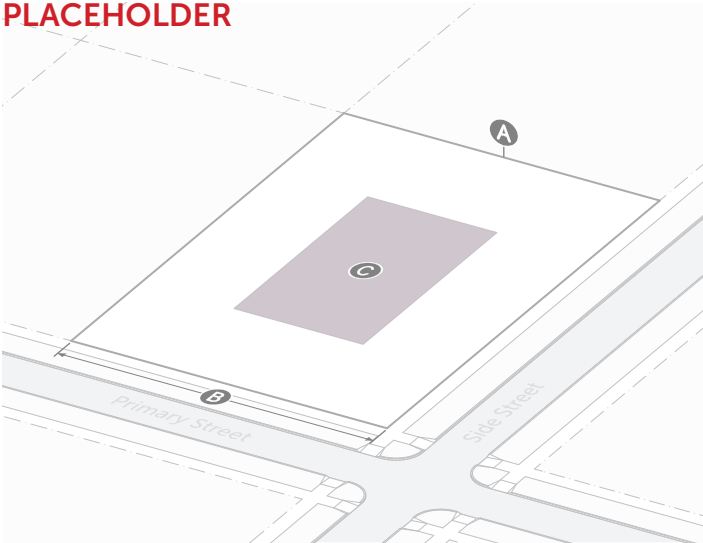


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Front yard Primary street setback	Type 1
Side street yard setback	Type 2
Side / rear yard setback	Type 3

SEC. 2.2.5. ~~H3 RESIDENTIAL~~ HOUSE 3

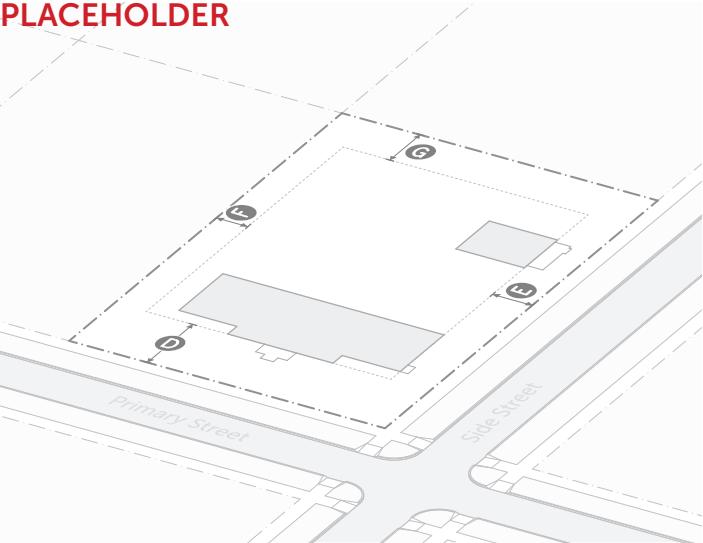
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	30,000 sf
B Width (min)	100'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.35
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	35%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Not required
Pedestrian walk zone	Not required

PLACEHOLDER

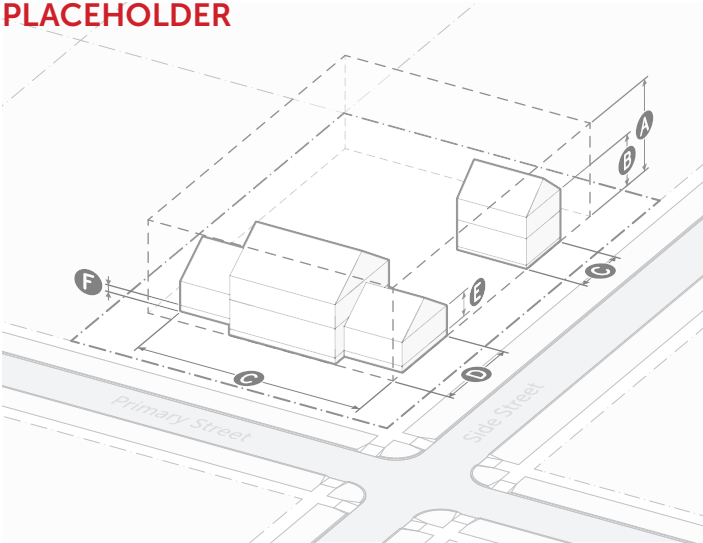


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 60'
E Side street	30'
F Side setback (min)	15'
G Rear alley setback (min)	30'
6. Parking Location	Sec. XX.XX.
Front yard Primary street setback	Driveway only
Side street yard setback	Driveway only
Side / rear yard setback	Allowed

~~H3 RESIDENTIAL~~ HOUSE 3

B. Building Standards

PLACEHOLDER

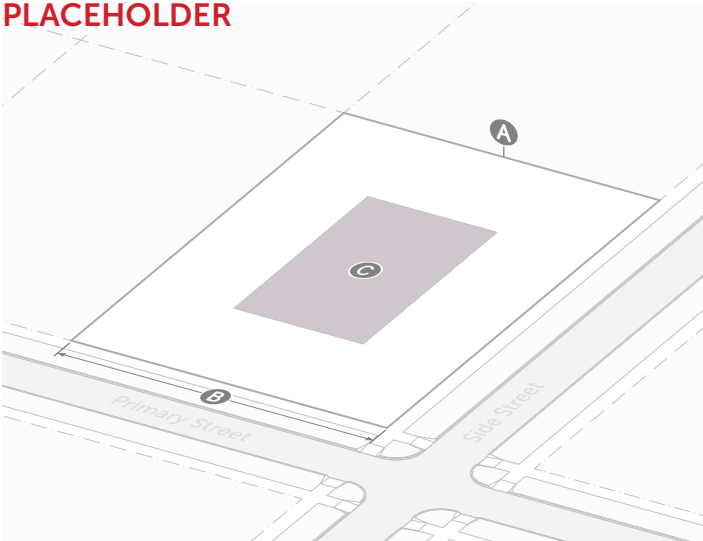


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Front yard Primary street setback	Type 1
Side street yard setback	Type 2
Side / rear yard setback	Type 3

SEC. 2.2.6. ~~H4~~ RESIDENTIAL HOUSE 4

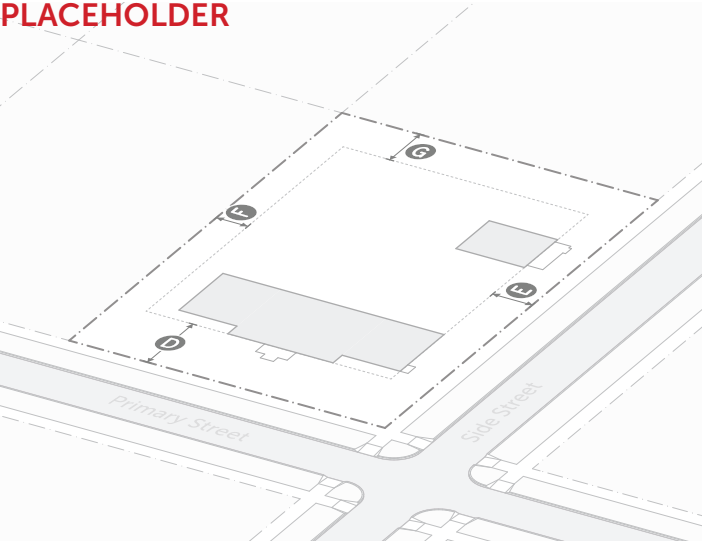
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	28,000 sf
B Width (min)	100'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.4
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	40%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Not required
Pedestrian walk zone	Not required

PLACEHOLDER

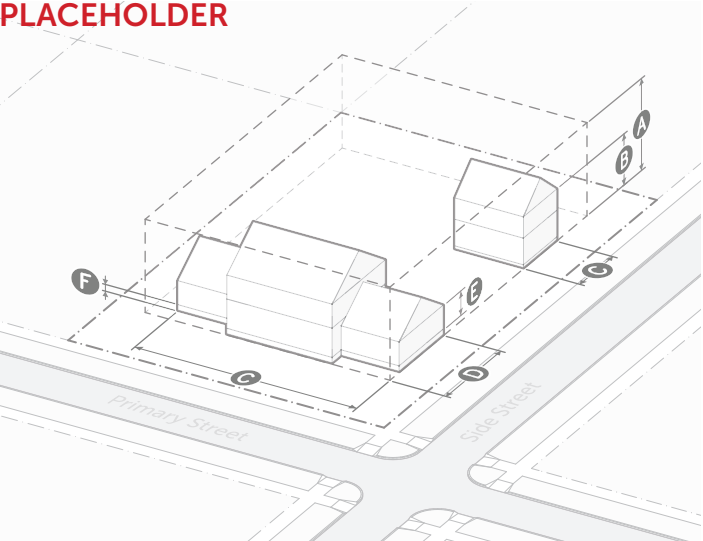


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 50'
E Side street	25'
F Side setback (min)	10'
G Rear alley setback (min)	20'
6. Parking Location	Sec. XX.XX.
Front yard Primary street setback	Driveway only
Side street yard setback	Driveway only
Side / rear yard setback	Allowed

~~H4~~ RESIDENTIAL HOUSE 4

B. Building Standards

PLACEHOLDER

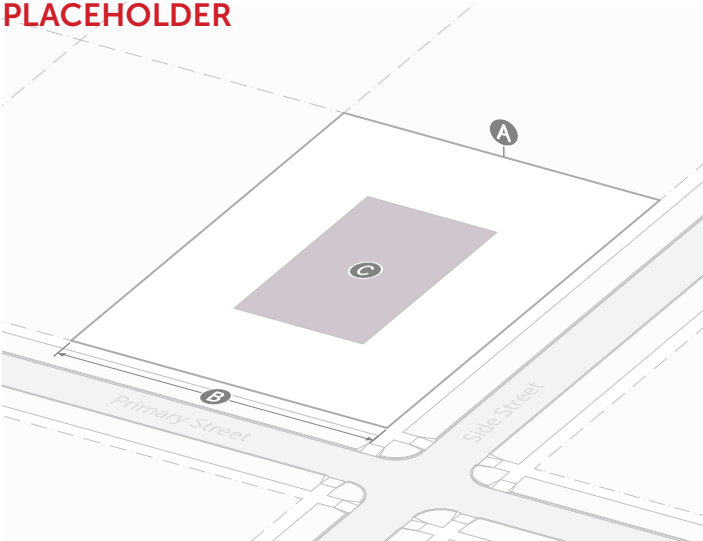


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Front yard Primary street setback	Type 1
Side street yard setback	Type 2
Side / rear yard setback	Type 3

SEC. 2.2.7. ~~H5 RESIDENTIAL~~ HOUSE 5

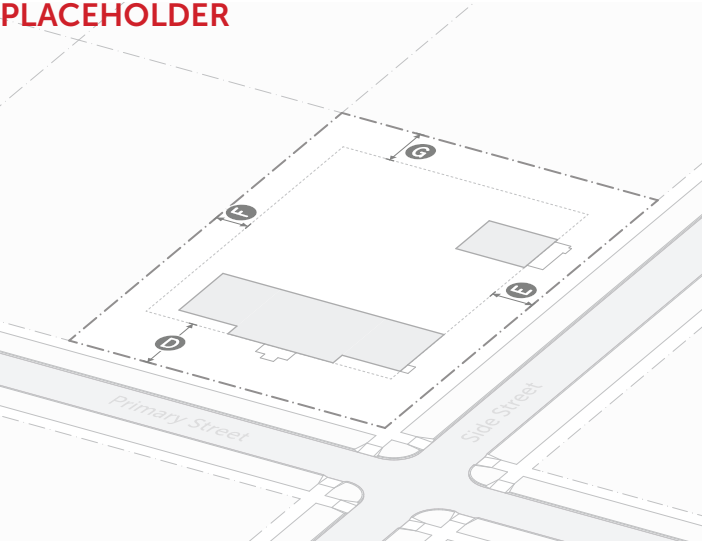
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	18,000 sf
B Width (min)	100'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.4
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	40%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Not required
Pedestrian walk zone	Not required

PLACEHOLDER

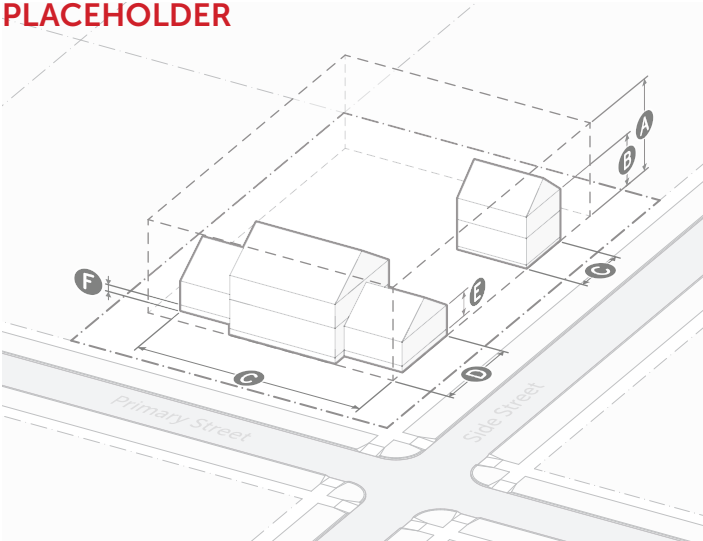


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
E Primary street	Existing range or 50'
E Side street	25'
F Side setback (min)	10'
G Rear alley setback (min)	20'
6. Parking Location	Sec. XX.XX.
Front yard Primary street setback	Driveway only
Side street yard setback	Driveway only
Side / rear yard setback	Allowed

~~H5 RESIDENTIAL~~ HOUSE 5

B. Building Standards

PLACEHOLDER

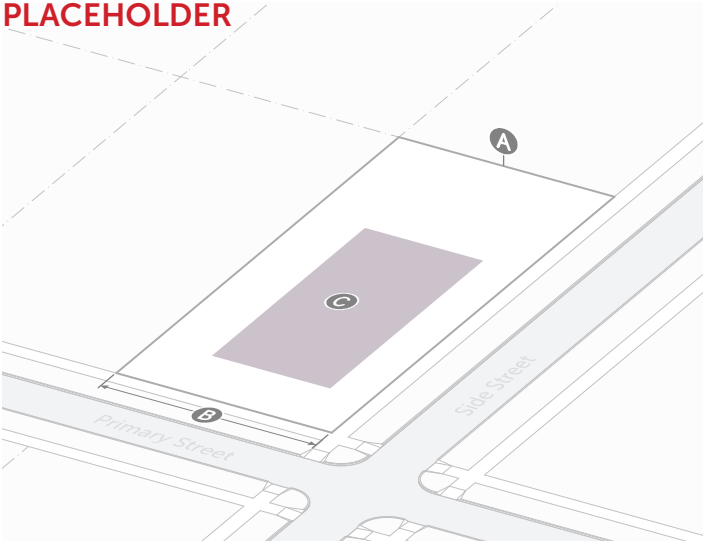


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Front yard Primary street setback	Type 1
Side street yard setback	Type 2
Side / rear yard setback	Type 3

SEC. 2.2.8. ~~H6 RESIDENTIAL~~ HOUSE 6

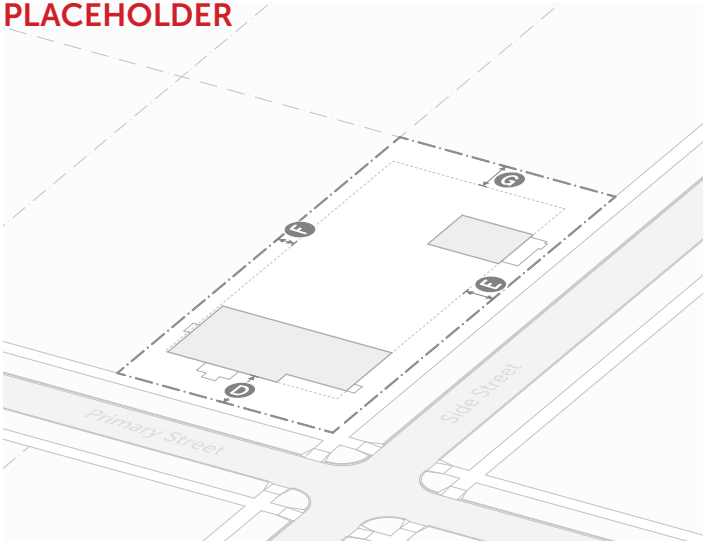
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	13,500 sf
B Width (min)	85'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.45
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	45%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Not required
Pedestrian walk zone	Not required

PLACEHOLDER

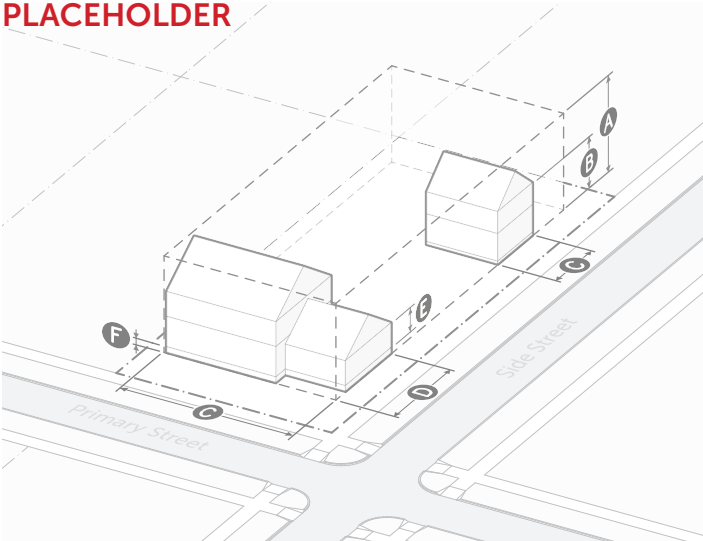


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 50'
E Side street	25'
F Side setback (min)	10'
G Rear alley setback (min)	15'
6. Parking Location	Sec. XX.XX.
Front yard Primary street setback	Driveway only
Side street yard setback	Driveway only
Side / rear yard setback	Allowed

~~H6 RESIDENTIAL~~ HOUSE 6

B. Building Standards

PLACEHOLDER

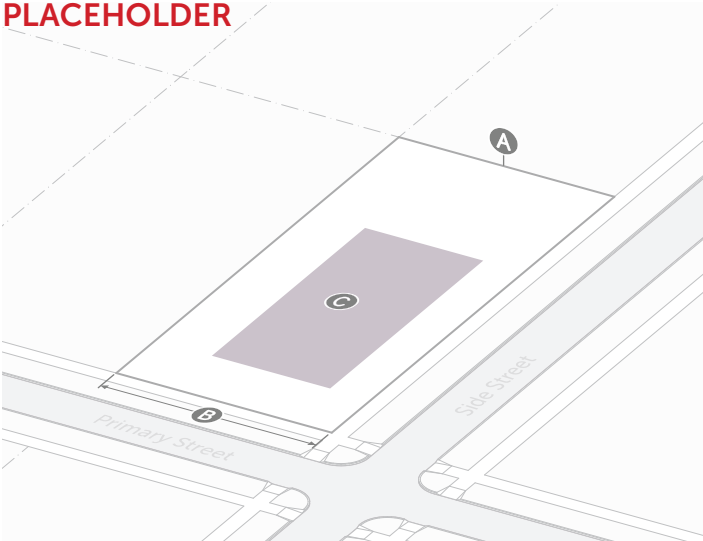


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	3 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Front yard Primary street setback	Type 1
Side street yard setback	Type 2
Side / rear yard setback	Type 3

SEC. 2.2.9. **CN1 CONSERVATION 1**

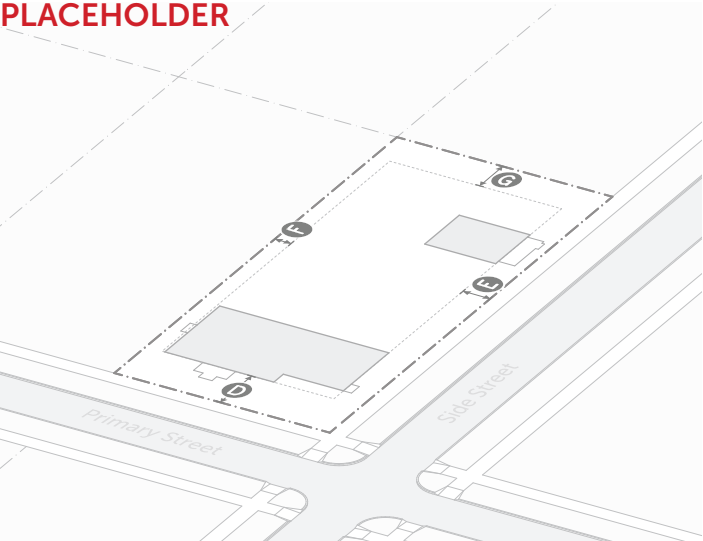
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	13,500 sf
B Width (min)	85'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.45
3. Coverage	Sec. XX.XX.
C Lot coverage (max)	45%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Not required
Pedestrian walk zone	Not required

PLACEHOLDER

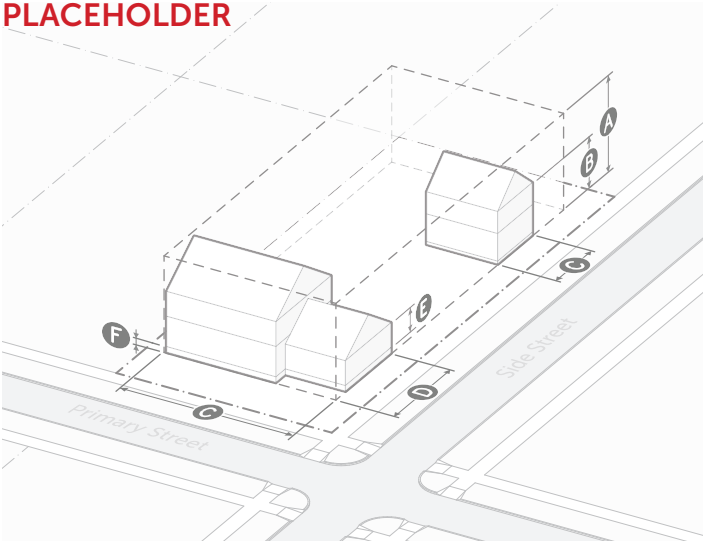


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range
E Side street	25'
F Side setback (min)	10'
G Rear /alley setback (min)	15'
6. Parking Location	Sec. XX.XX.
Front-yard Primary street setback	Driveway only
Side street yard setback	Driveway only
Side / rear yard setback	Allowed

CN1 CONSERVATION 1

B. Building Standards

PLACEHOLDER

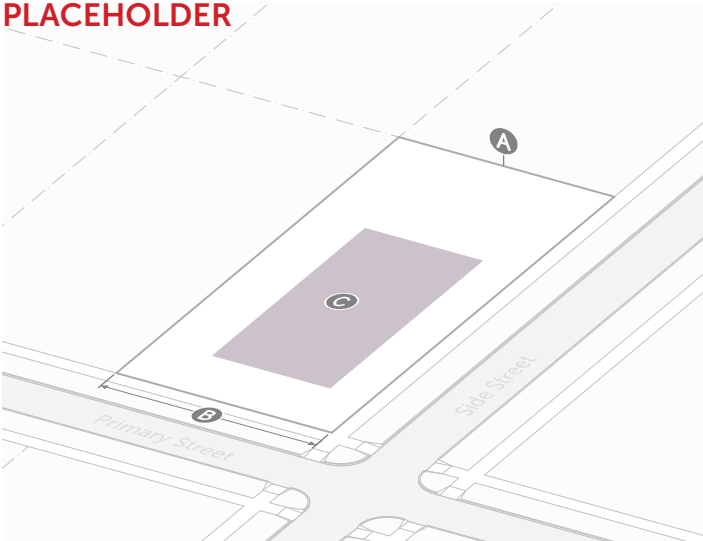


1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	Match existing
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'
3. Fences and Walls	Sec. XX.XX.
Front-yard Primary street setback	Type 1
Side street yard setback	Type 2
Side / rear yard setback	Type 3

SEC. 2.2.10. **CN2 CONSERVATION 2**

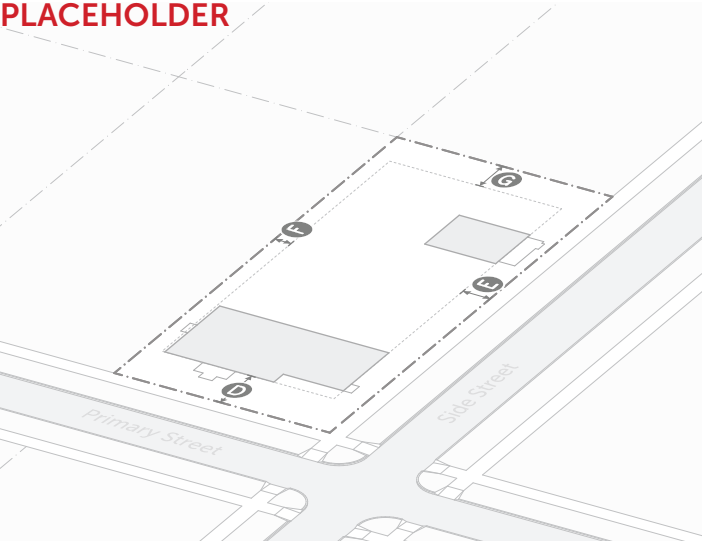
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	9,000 sf
B Width (min)	70'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.5
3. Coverage	Sec. XX.XX.
Building coverage (max)	40%
C Lot coverage (max)	50%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

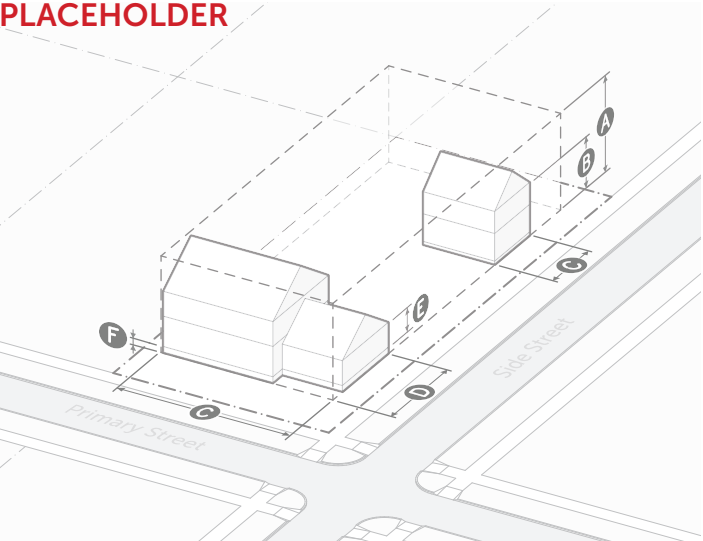


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range
E Side street	15'
F Side setback (min)	
One side	4'
Cumulative	14'
G Rear alley setback (min)	
Primary structure	15'
Accessory structure	10'
6. Parking Location	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

CN2 CONSERVATION 2

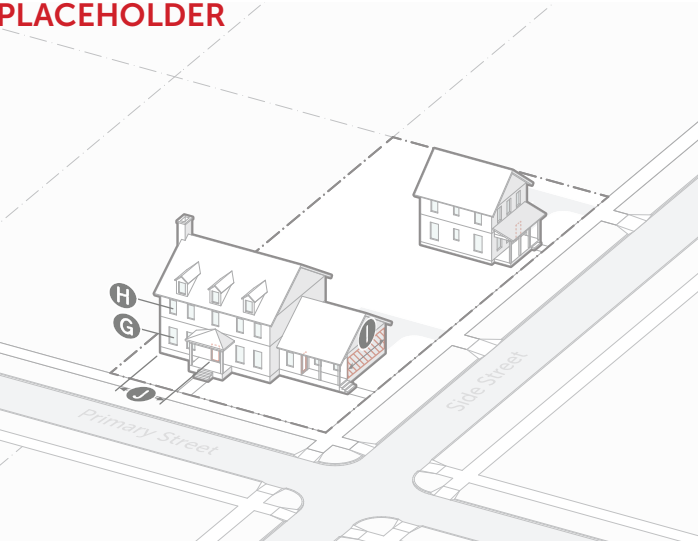
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	Match existing
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER



3. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
Primary street	50'
Side street	None
Entry feature	Porch Raised Entry Forecourt
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

DIVISION 2.3. NEIGHBORHOOD-SCALE DISTRICTS

PLACEHOLDER
FOR GRAPHIC

Sec. 2.3.1. Intent

Neighborhood-Scale Form Districts are intended to accommodate lower intensity neighborhood areas with small to medium lot sizes and moderate lot coverage, and are generally in areas within walking distance of neighborhood-serving retail, service, and other commercial uses. The number of dwelling units allowed on each lot varies by Form District.

Typically Neighborhood-Scale Form Districts are paired with Use Districts that primarily allow household living uses and some civic uses. Sometimes Neighborhood-Scale Form Districts are paired with Use Districts that allow neighborhood-serving commercial uses that are limited in size and extent.

Neighborhood-scale districts are generally intended for areas designated as Conservation-Urban, and some areas designated as Growth-Corridor, in Atlanta City Design.

Sec. 2.3.2. Summary of Districts

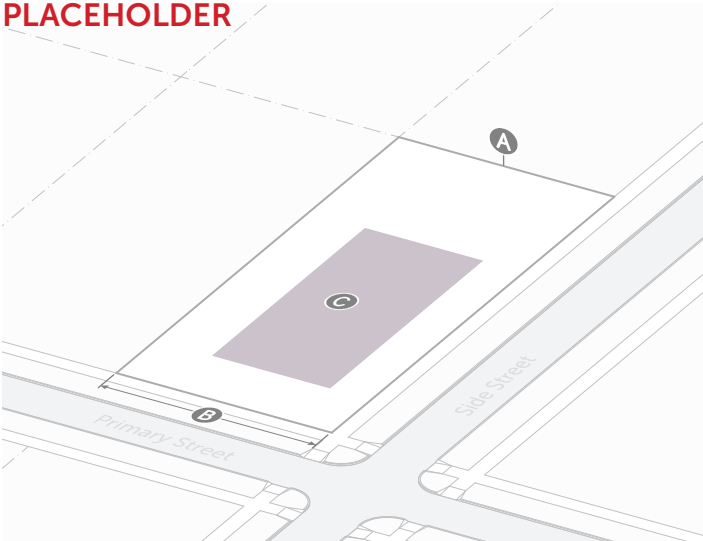
The following table includes a summary of some requirements for each [Neighborhood-Scale Form District](#). Detailed requirements are further described in this Division.

NEIGHBORHOOD-SCALE DISTRICTS					
District	Lot Area (min)	Lot Width (min)	Dwelling Units (max)	FAR (NLA max)	Height (max)
N1	9,000 sf	70'	1	0.50	2.5 stories / 35'
N2A	7,500 sf	50'	1	0.55	2.5 stories / 35'
N2B	7,500 sf	50'	2	0.60	2.5 stories / 35'
N3A	5,000 sf	40'	1	0.60	2.5 stories / 35'
N3B	5,000 sf	40'	2	0.65	2.5 stories / 35'
N4A	2,800 sf	40'	1	0.65	2.5 stories / 35'
N4B	2,800 sf	40'	2	0.70	2.5 stories / 35'
N5A	2,000 sf	25'	6	None	2.5 stories / 35'
N5B	2,000 sf	25'	12	None	3 stories / 35'
N6A	2,000 sf	20'	Unlimited	1.0	3 stories / 40'
N6B	2,000 sf	20'	Unlimited	1.75	4 stories / 50'

SEC. 2.3.3. ~~N1 RESIDENTIAL~~ NEIGHBORHOOD 1

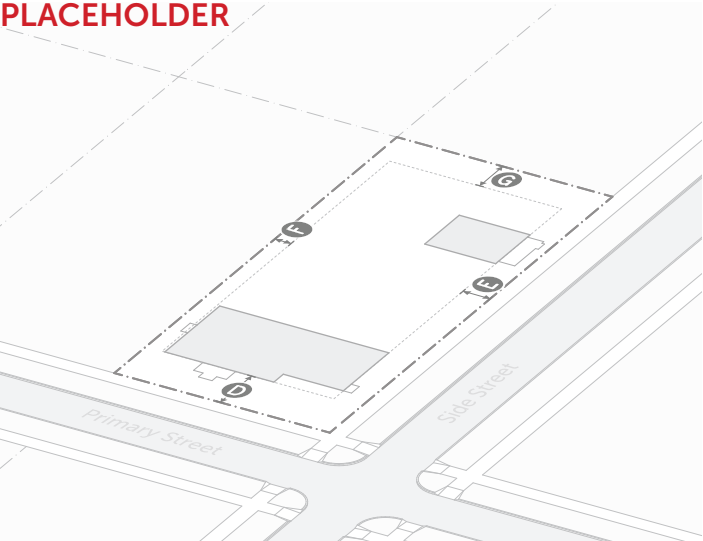
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	9,000 sf
B Width (min)	70'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.5
3. Coverage	Sec. XX.XX.
Building coverage (max)	40%
C Lot coverage (max)	50%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

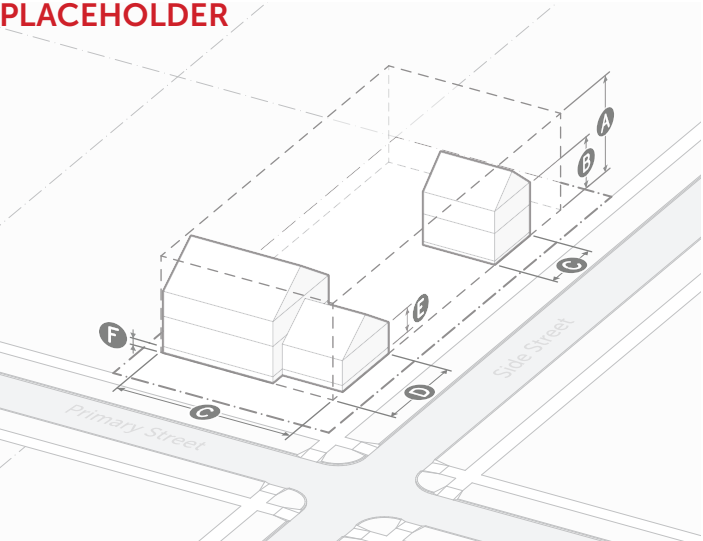


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 35'
E Side street	15'
F Side setback (min)	
One side	4'
Cumulative	14'
G Rear /atley setback (min)	
Primary structure	15'
Accessory structure	10'
6. Parking Location	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

~~N1 RESIDENTIAL~~ NEIGHBORHOOD 1

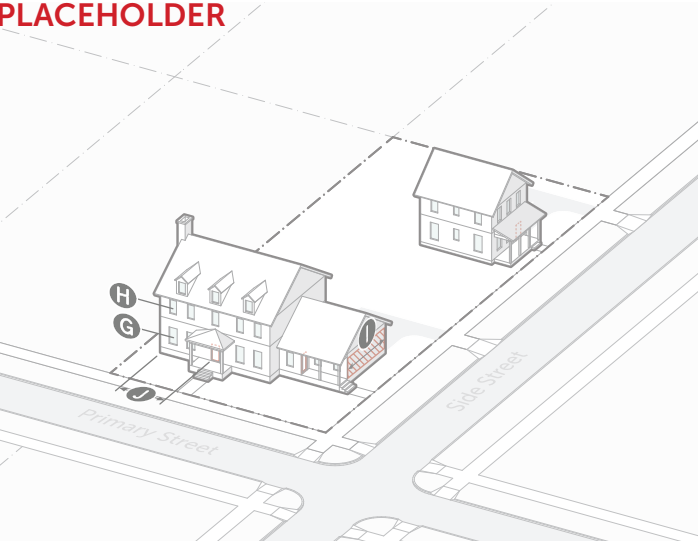
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
2. Ground Story	Sec. XX.XX.
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

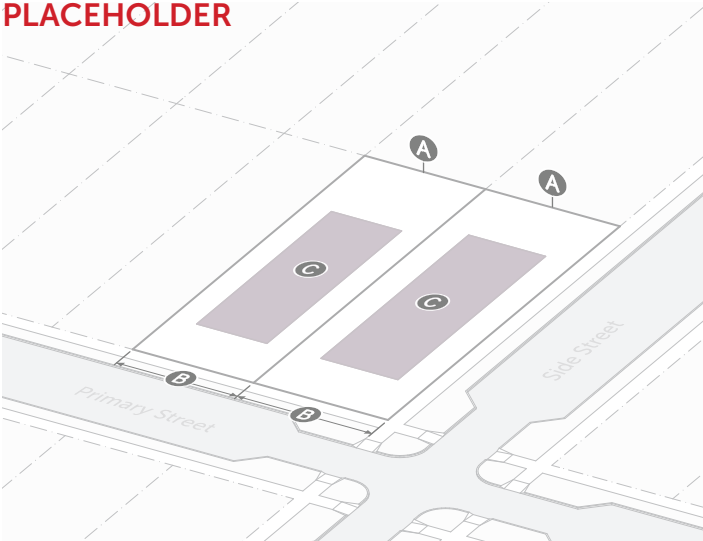


3. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
Primary-street	50'
Side-street	None
Entry-feature	Porch Raised-Entry Forecourt
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.4. ~~N2A RESIDENTIAL~~ NEIGHBORHOOD 2A

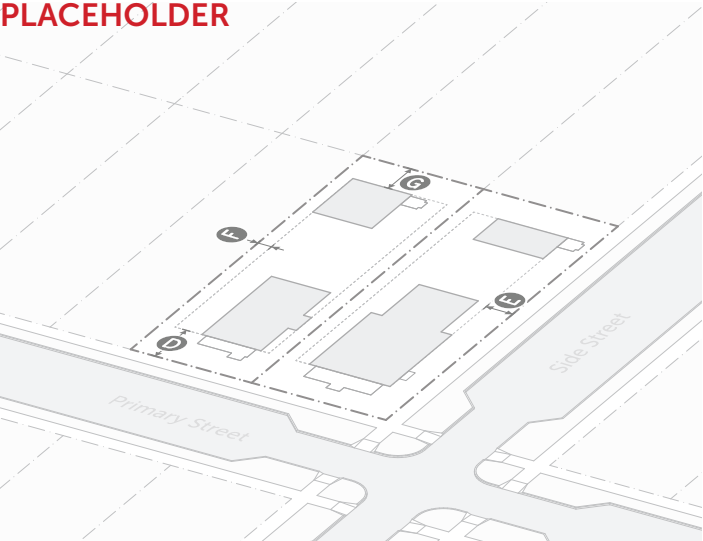
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	7,500 sf
B Width (min)	
Front access	50'
Side or rear access	35'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.55
3. Coverage	Sec. XX.XX.
Building coverage (max)	45%
C Lot coverage (max)	55%
4. Streetscapes	Sec. XX.XX.
Landscape <u>Amenity</u> zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

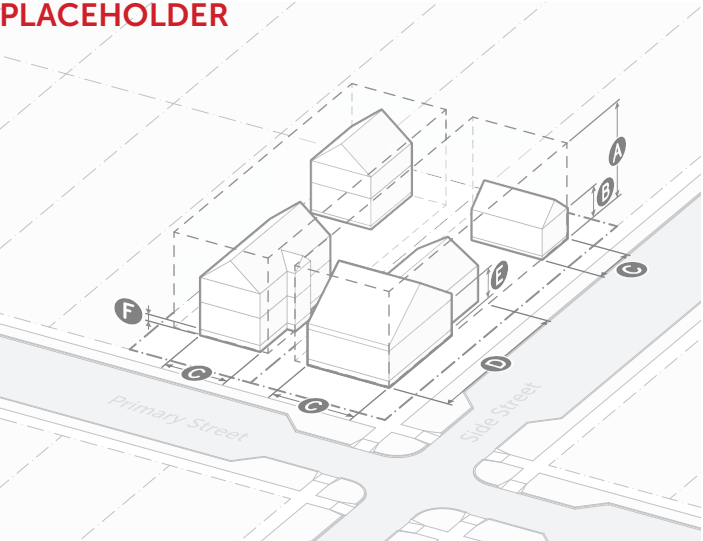


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 30'
E Side street	5'
F Side setback (min)	
One side	3'
Cumulative	10'
G Rear /alley setback (min)	
Primary structure	10'
Accessory structure	4'
6. Parking Location	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

~~N2A RESIDENTIAL~~ NEIGHBORHOOD 2A

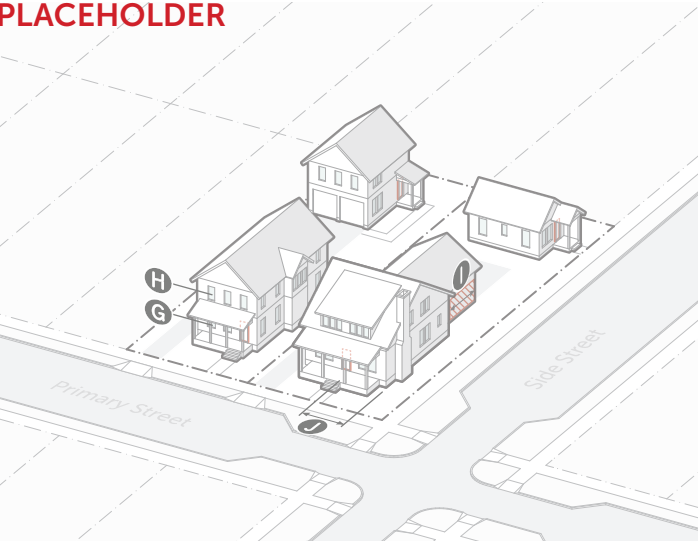
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
Building width (max)	
C Primary street	50'
D Side street	80'
2. Ground Story	Sec. XX.XX.
E Ground story height (min)	9'
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

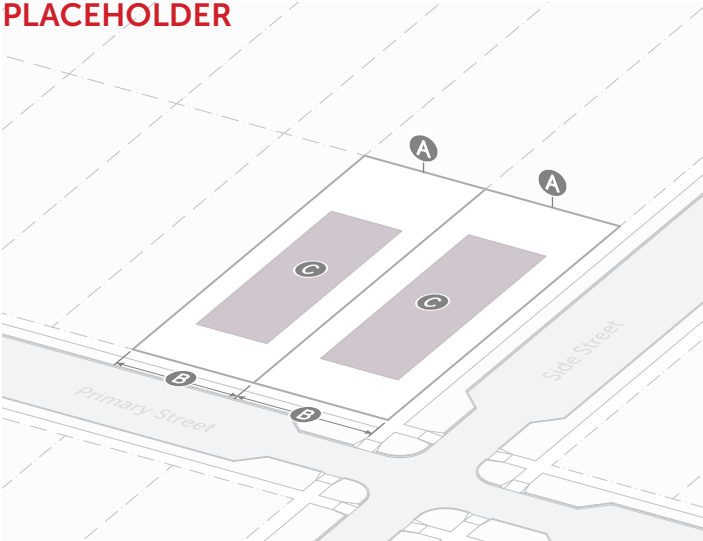


3. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J <u>Street-facing entry</u>	<u>Required</u>
Primary-street	40'
Side-street	None
Entry feature	Porch Raised-Entry Forecourt
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.5. ~~N2B RESIDENTIAL~~ NEIGHBORHOOD 2B

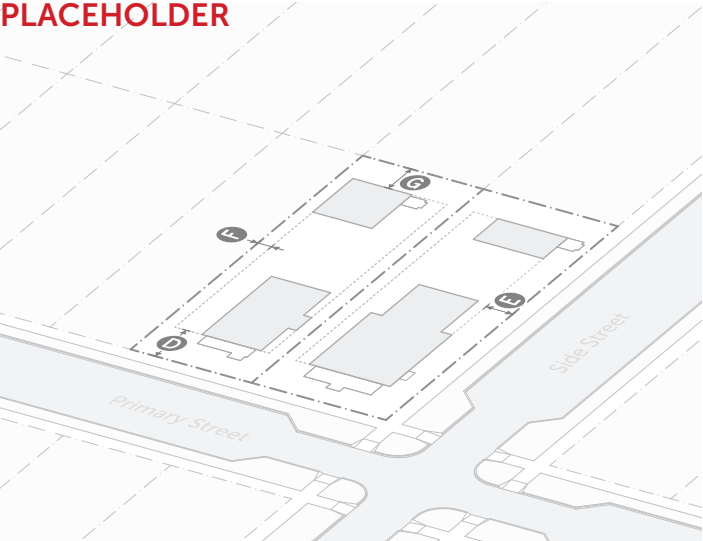
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	7,500 sf
B Width (min)	
Front access	50'
Side or rear access	35'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	2
FAR (NLA max)	0.6
3. Coverage	Sec. XX.XX.
Building coverage (max)	45%
C Lot coverage (max)	55%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

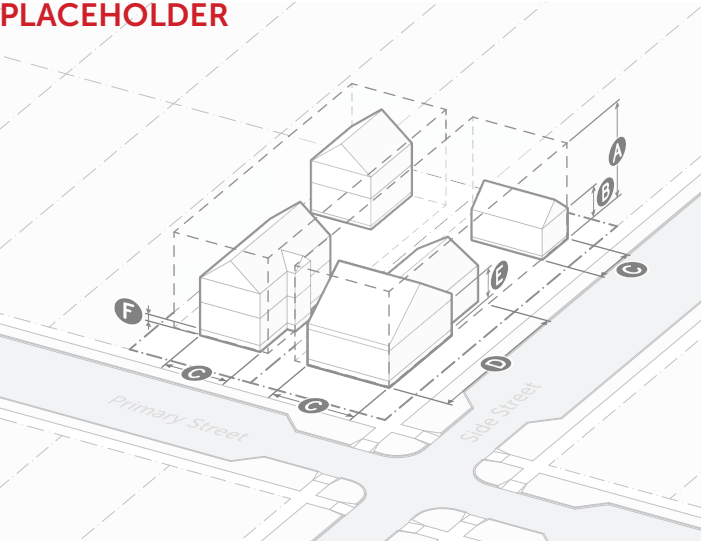


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 15' / 30'
E Side street	5'
F Side setback (min)	
One side	3'
Cumulative	10'
G Rear /-alley setback (min)	
Primary structure	7'
Accessory structure	4'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary street	50%
Side street	None
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

~~N2B RESIDENTIAL~~ NEIGHBORHOOD 2B

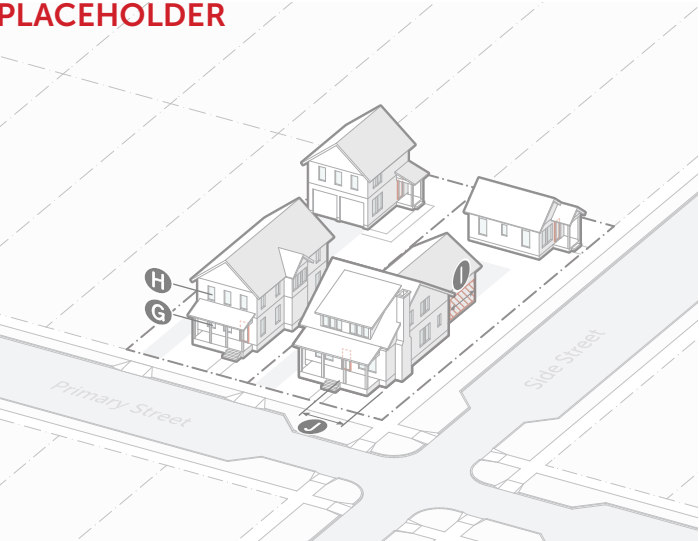
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
Building width (max)	
C Primary street	50'
D Side street	80'
2. Activation	Sec. XX.XX.
Active depth (min stories/feet)	
Primary street	1-story / 10'
Side street	None
3. Ground Story	Sec. XX.XX.
E Ground story height (min)	9'
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

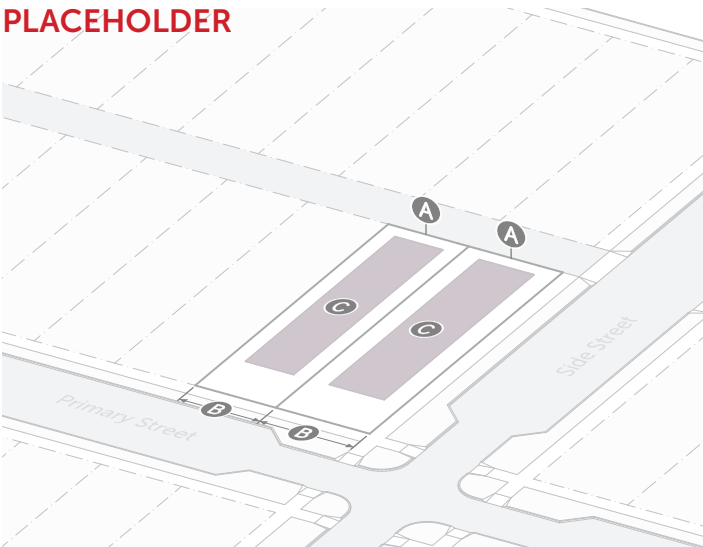


4. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
Primary-street	40'
Side-street	None
Entry feature	Porch Raised-Entry Forecourt
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.6. ~~N3A RESIDENTIAL~~ NEIGHBORHOOD 3A

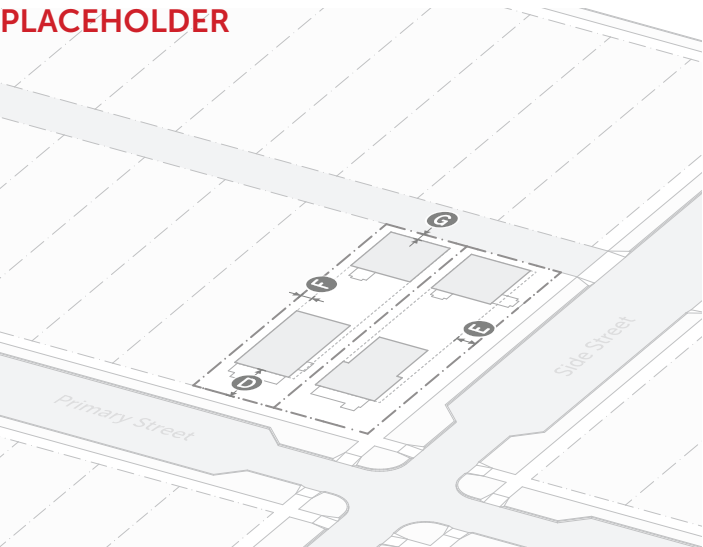
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	5,000 sf
B Width (min)	
Front access	40'
Side or rear access	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.6
3. Coverage	Sec. XX.XX.
C Building coverage (max)	60%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

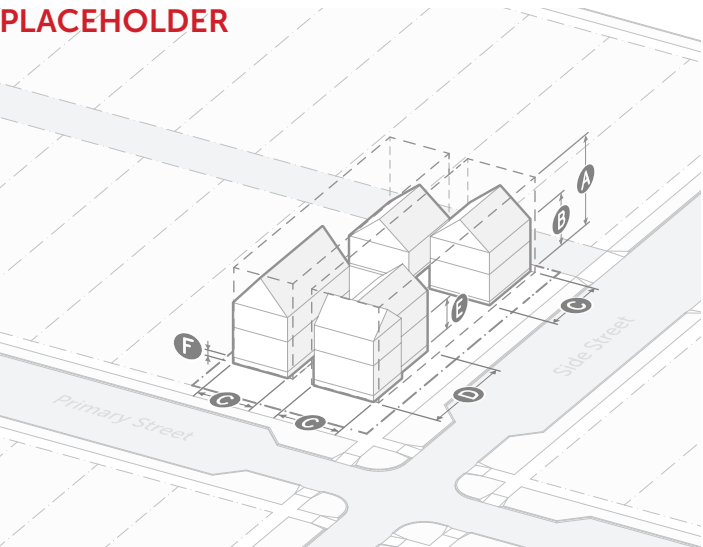


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 20'
E Side street	5'
F Side setback (min)	
One side	3'
Cumulative	10'
G Rear /-alley setback (min)	
Primary structure	7'
Accessory structure	4'
6. Parking Location	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

~~N3A RESIDENTIAL~~ NEIGHBORHOOD 3A

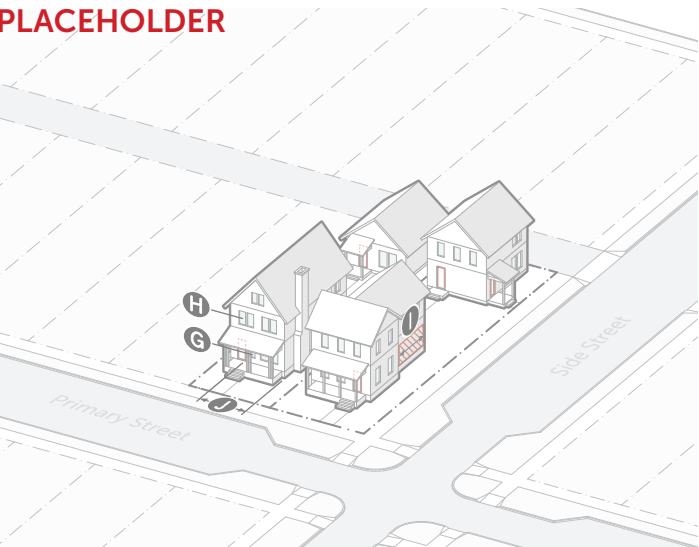
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
Building width (max)	
C Primary street	40'
D Side street	70'
2. Ground Story	Sec. XX.XX.
E Ground story height (min)	9'
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

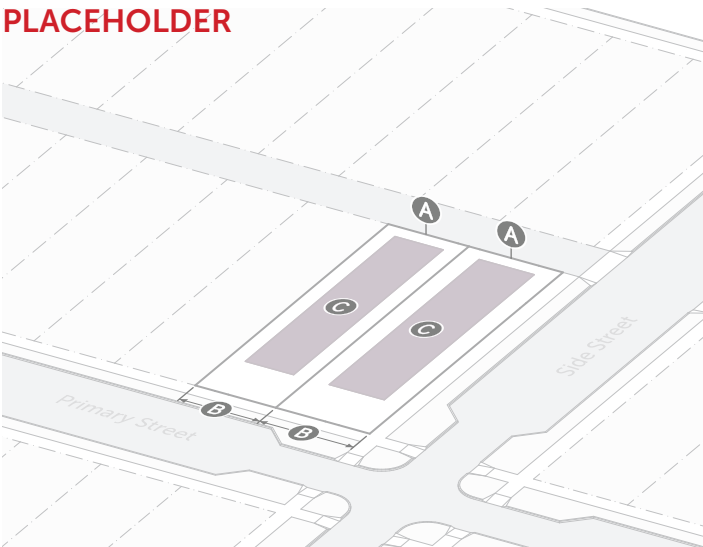


3. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
Primary-street	30'
Side-street	None
Entry-feature	Porch Raised-Entry Forecourt
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.7. ~~N3B RESIDENTIAL~~ NEIGHBORHOOD 3B

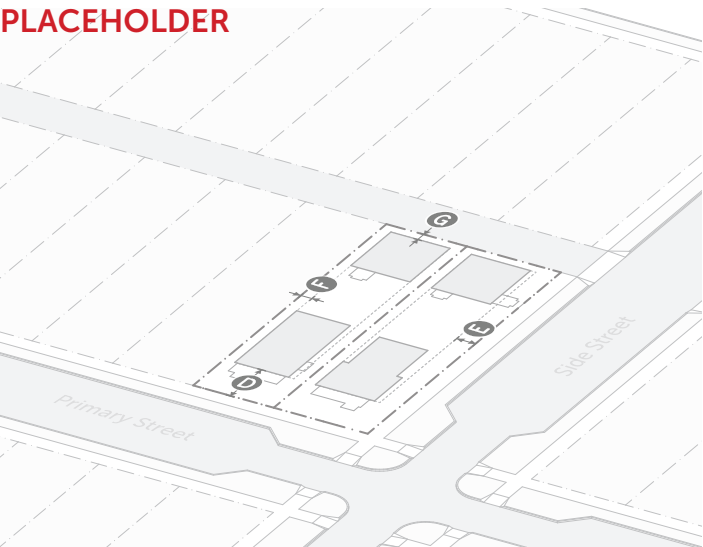
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	5,000 sf
B Width (min)	
Front access	40'
Side or rear access	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	2
FAR (NLA max)	0.65
3. Coverage	Sec. XX.XX.
C Building coverage (max)	60%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

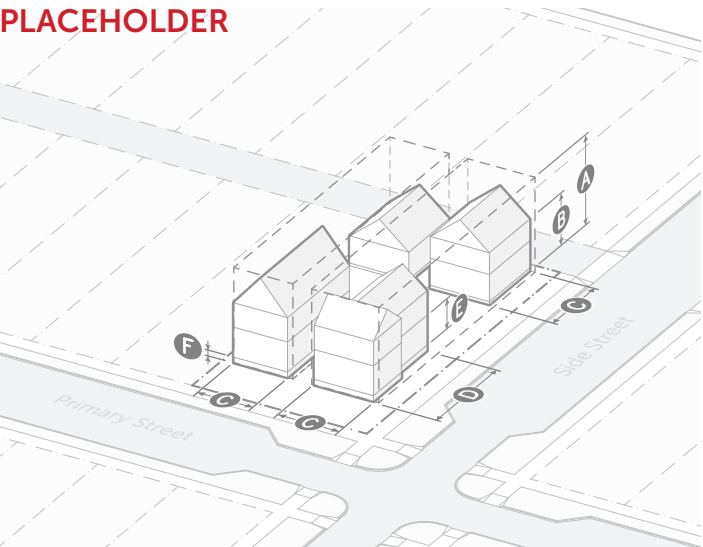


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	Existing range or 15' / 30'
E Side street	7'
F Side setback (min)	
One side	3'
Cumulative	10'
J Rear /-alley setback (min)	
Primary structure	7'
Accessory structure	4'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary street	50%
Side street	None
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

~~N3B RESIDENTIAL~~ NEIGHBORHOOD 3B

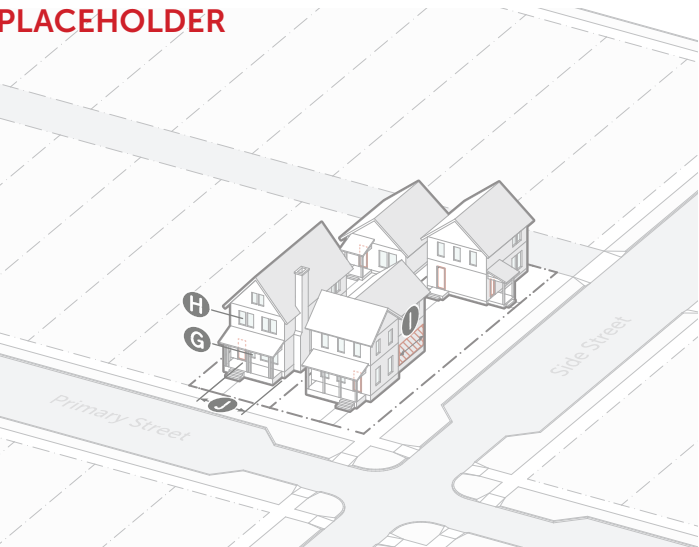
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
Building width (max)	
C Primary street	40'
D Side street	70'
2. Activation	Sec. XX.XX.
Active depth (min stories/feet)	
Primary street	1-story / 10'
Side street	None
3. Ground Story	Sec. XX.XX.
E Ground story height (min)	9'
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

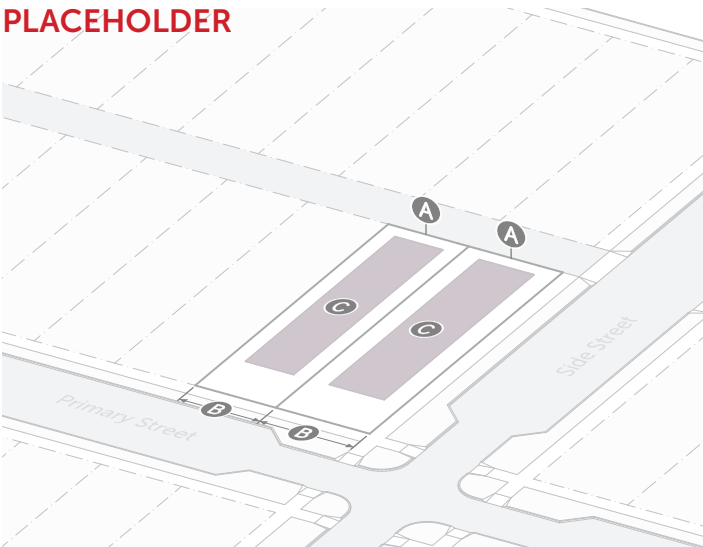


4. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
Primary-street	30'
Side-street	None
Entry feature	Porch Raised-Entry Forecourt
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.8. ~~N4A RESIDENTIAL~~ NEIGHBORHOOD ~~4A~~

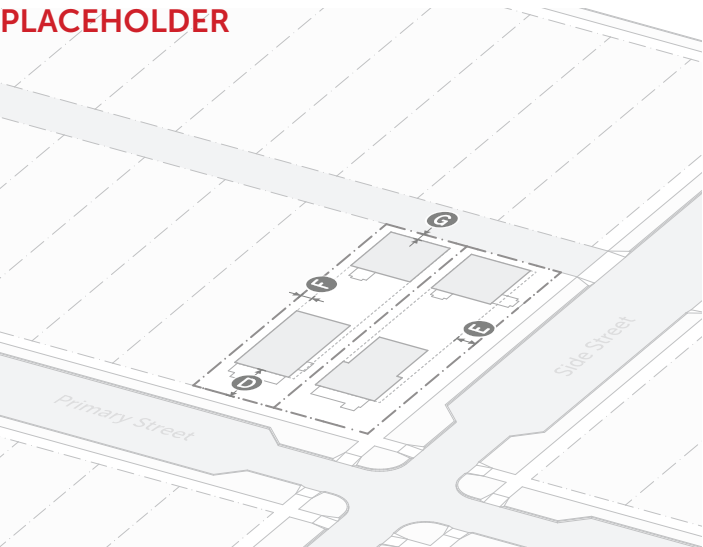
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	2,800 sf
B Width (min)	
Front access	40'
Side or rear access	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	1
FAR (NLA max)	0.65
3. Coverage	Sec. XX.XX.
C Building coverage (max)	65%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

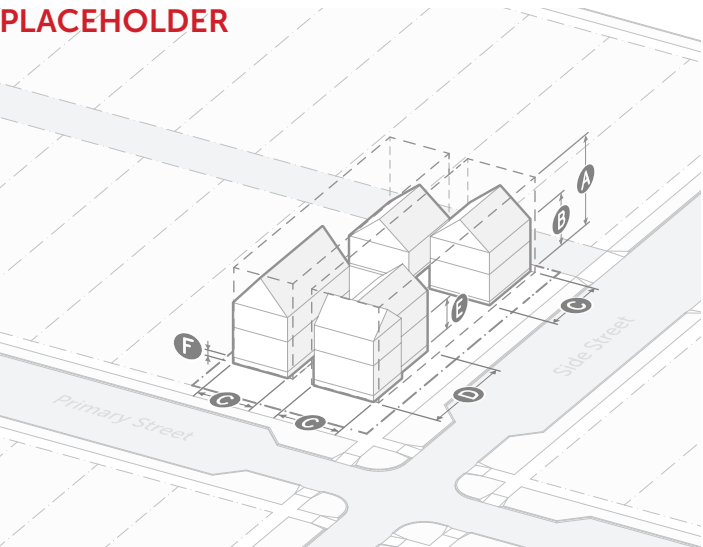


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary street	Existing range or 20'
Side street	5'
E Side setback (min)	
One side	3'
Cumulative	10'
F Rear /alley setback (min)	
Primary structure	5'
Accessory structure	4'
6. Parking Location	Sec. XX.XX.
Front yard	Driveway only
Side street yard	Driveway only
Side / rear yard	Allowed

~~N4A RESIDENTIAL~~ NEIGHBORHOOD ~~4A~~

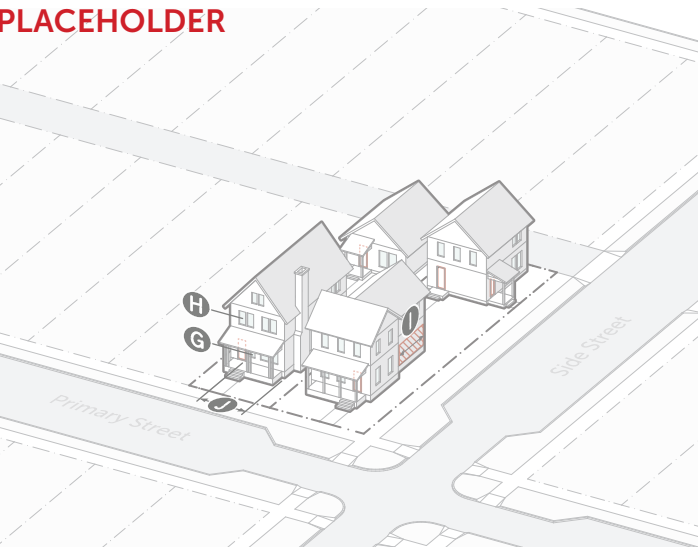
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
C Building width (max)	
Primary street	35'
Side street	60'
2. Ground Story	Sec. XX.XX.
D Ground story height (min)	9'
E Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

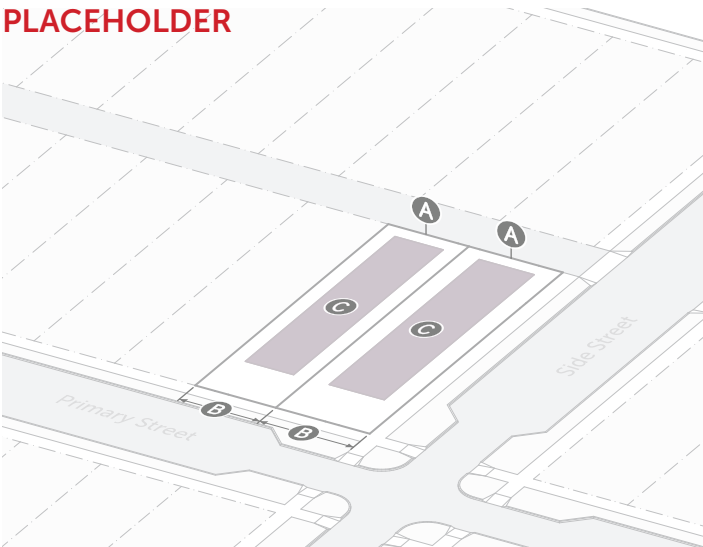


3. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	20%
Side street	15%
G Upper story windows (min)	10%
H Blank wall width (max)	20'
I Street-facing entry	Required
Primary-street	30'
Side-street	None
Entry feature	Porch Raised-Entry Forecourt
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.9. ~~N4B RESIDENTIAL~~ NEIGHBORHOOD 4B

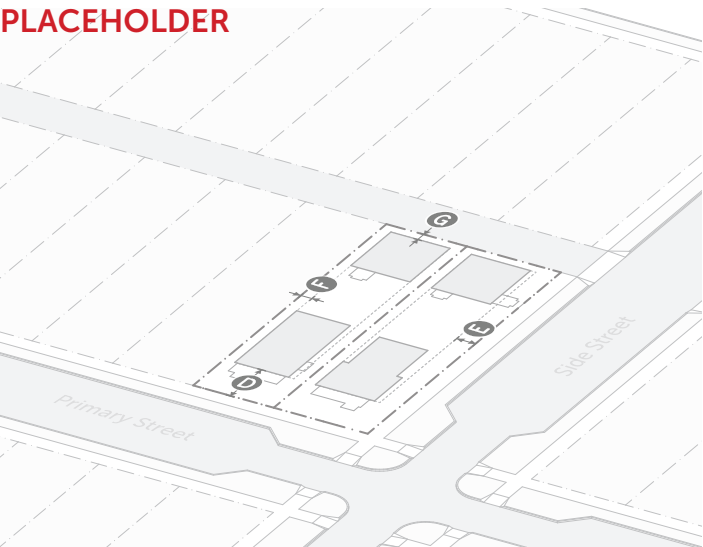
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	2,800 sf
B Width (min)	
Front access	40'
Side or rear access	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	2
FAR (NLA max)	0.7
3. Coverage	Sec. XX.XX.
C Building coverage (max)	65%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

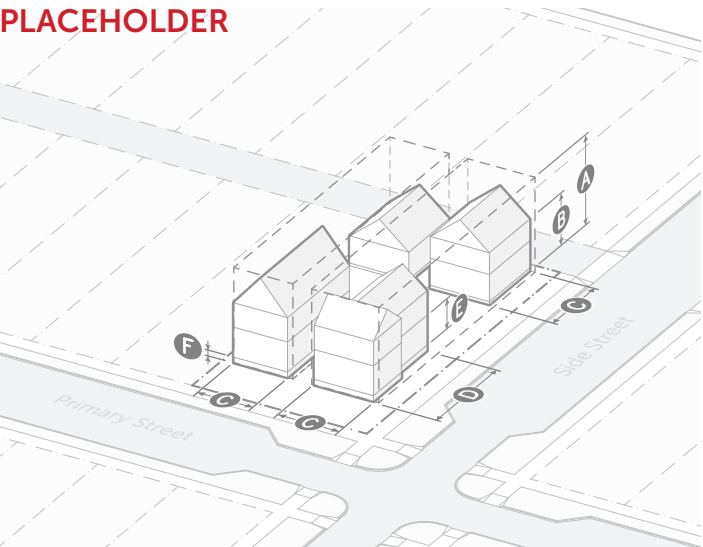


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary street	Existing range or 15' / 30'
Side street	5'
E Side setback (min)	
One side	3'
Cumulative	10'
F Rear +/alley setback (min)	
Primary structure	5'
Accessory structure	4'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary street	50%
Side street	None
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

~~N4B RESIDENTIAL~~ NEIGHBORHOOD 4B

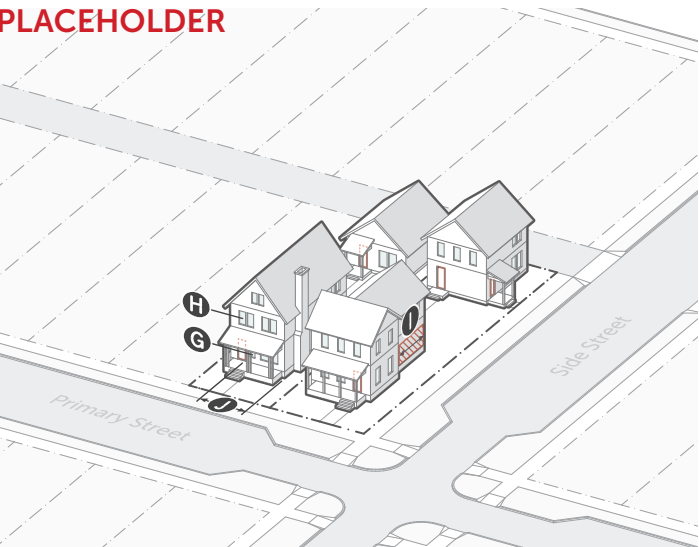
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	
Primary structure	2.5 stories / 35'
Accessory structure	2 stories / 25'
B Side wall height (max)	28'
C Building width (max)	
Primary street	<u>35'</u>
Side street	<u>60'</u>
2. Activation	Sec. XX.XX.
Active depth (min stories/feet)	
Primary street	<u>1-story</u> / 10'
Side street	None
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	9'
E Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

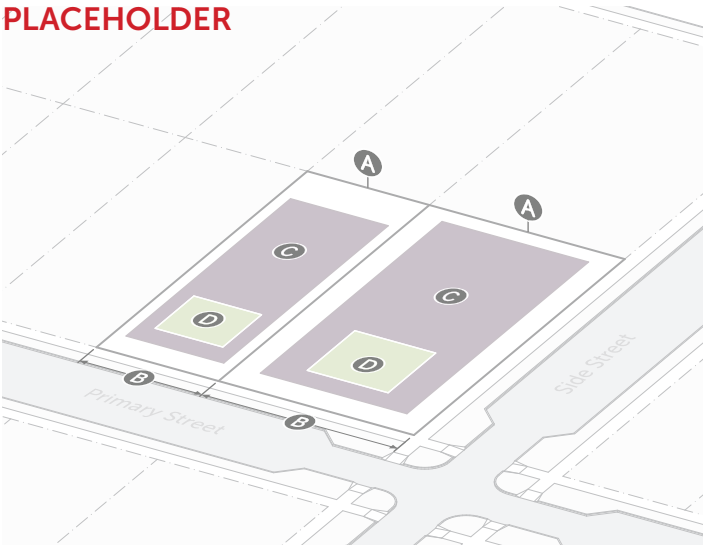


4. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	20%
Side street	15%
G Upper story windows (min)	10%
H Blank wall width (max)	20'
I <u>Street-facing entry</u>	<u>Required</u>
<u>Primary-street</u>	<u>30'</u>
<u>Side-street</u>	<u>None</u>
<u>Entry feature</u>	<u>Porch</u> <u>Raised-Entry</u> <u>Forecourt</u>
5. Fences and Walls	Sec. XX.XX.
Front yard	<u>Type 1</u>
Side street yard	<u>Type 2</u>
Side / rear yard	<u>Type 3</u>

SEC. 2.3.10. ~~N5A RESIDENTIAL~~ NEIGHBORHOOD 5A

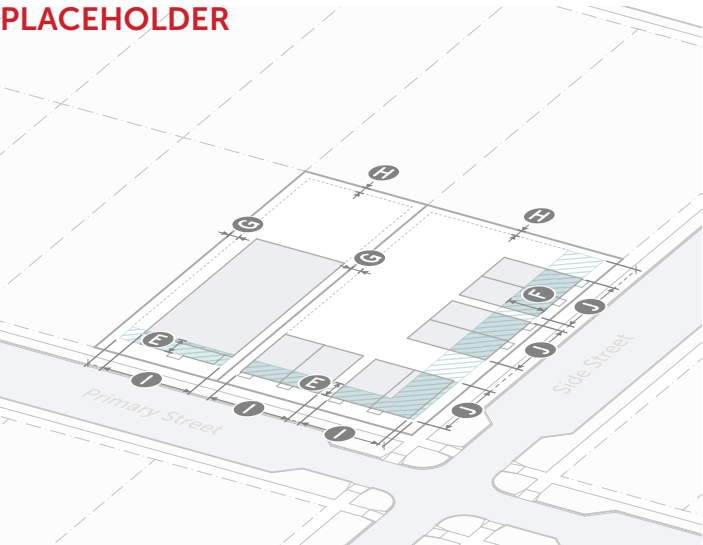
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	2,000 sf
B Width (min)	<u>25'</u>
Front access	<u>40'</u>
Side or rear access	<u>25'</u>
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	6
3. Coverage	Sec. XX.XX.
C Building coverage (max)	65%
D Outdoor amenity space (min)	15%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

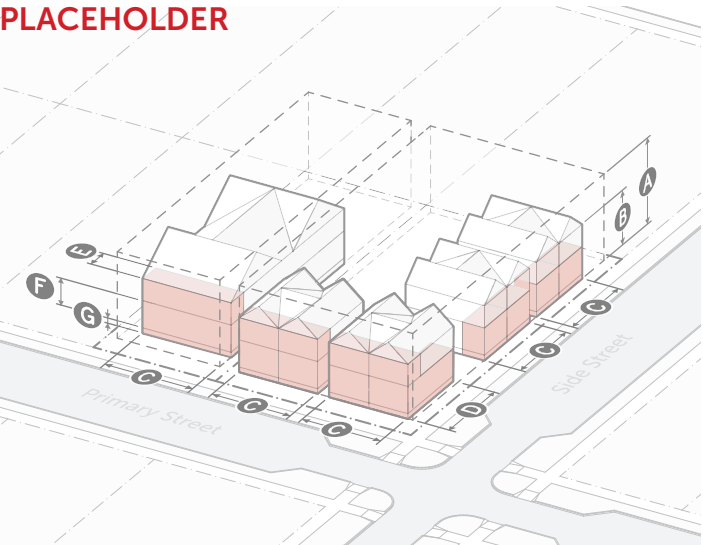


5. Building Setbacks	Sec. XX.XX.
E Street setback (min)	
Primary street	Existing range or 10' / 25'
Side street	5' / 20'
F Side setback (min)	
One side	3'
Cumulative	10'
G Rear /-alley setback (min)	7'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary street	65%
Side street	40%
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

~~N5A RESIDENTIAL~~ NEIGHBORHOOD 5A

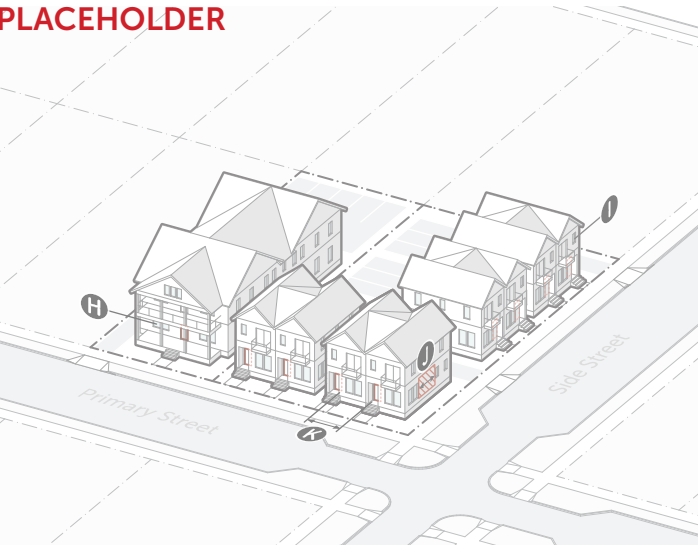
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	2.5 stories / 35'
B Side wall height (max)	28'
C Building width (max)	
Primary street	<u>40'</u>
Side street	90'
2. Activation	Sec. XX.XX.
D Active depth (min stories/feet)	
Primary street	<u>1-story / 10'</u>
Side street	<u>1-story / 10'</u>
3. Ground Story	Sec. XX.XX.
E Ground story height (min)	9'
F Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

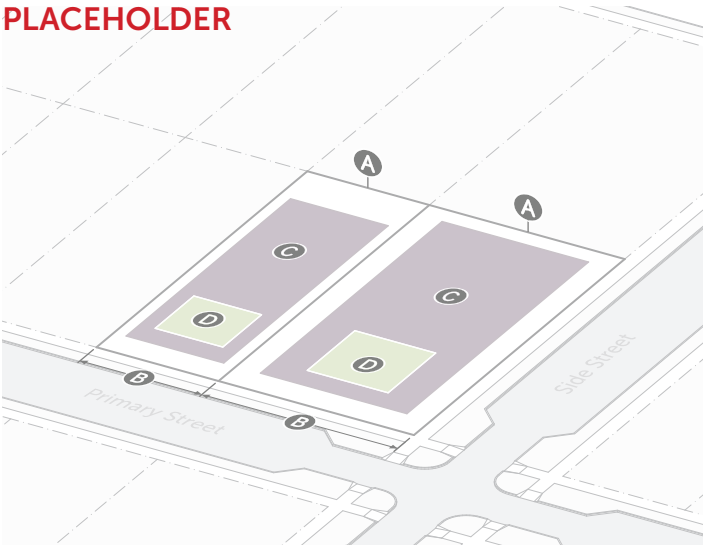


4. Windows and Doors	Sec. XX.XX.
G Ground story windows (min)	
Primary street	20%
Side street	15%
H Upper story windows (min)	10%
I Blank wall width (max)	20'
J Street-facing entry	Required
Primary street	<u>40'</u>
Side street	<u>60'</u>
Entry feature	Porch Raised Entry Forecourt
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.11. ~~N5B RESIDENTIAL~~ NEIGHBORHOOD 5B

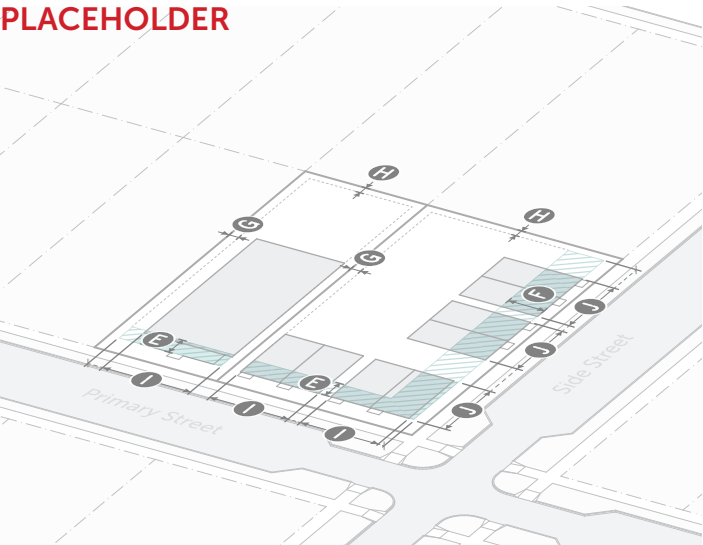
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	2,000 sf
B Width (min)	<u>25'</u>
Front access	40'
Side or rear access	25'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	12
3. Coverage	Sec. XX.XX.
C Building coverage (max)	70%
D Outdoor amenity space (min)	15%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

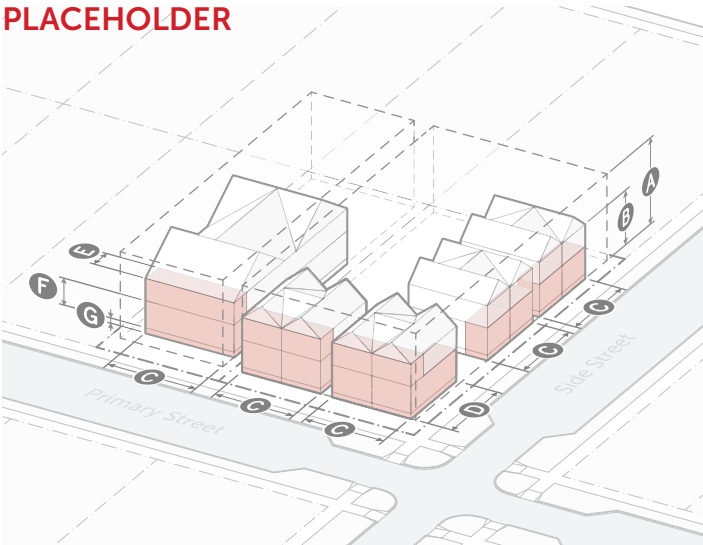


5. Building Setbacks	Sec. XX.XX.
E Street setback (min)	
Primary street	Existing range or 10' / 25'
Side street	5' / 20'
F Side setback (min)	5'
G Rear alley setback (min)	7'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary street	65%
Side street	40%
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

~~N5B RESIDENTIAL~~ NEIGHBORHOOD 5B

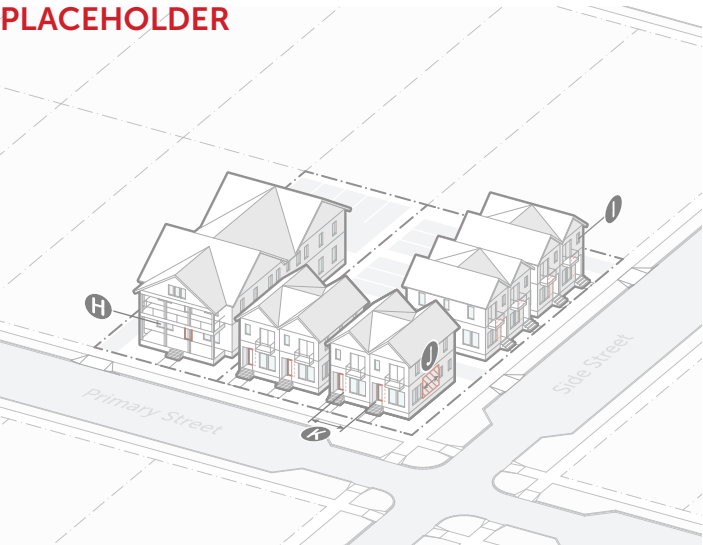
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	3 stories / 35'
B Building width (max)	
Primary street	<u>40'</u>
Side street	<u>90'</u>
2. Activation	Sec. XX.XX.
C Active depth (min stories/feet)	
Primary street	<u>1-story</u> / 10'
Side street	<u>1-story</u> / 10'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	9'
E Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

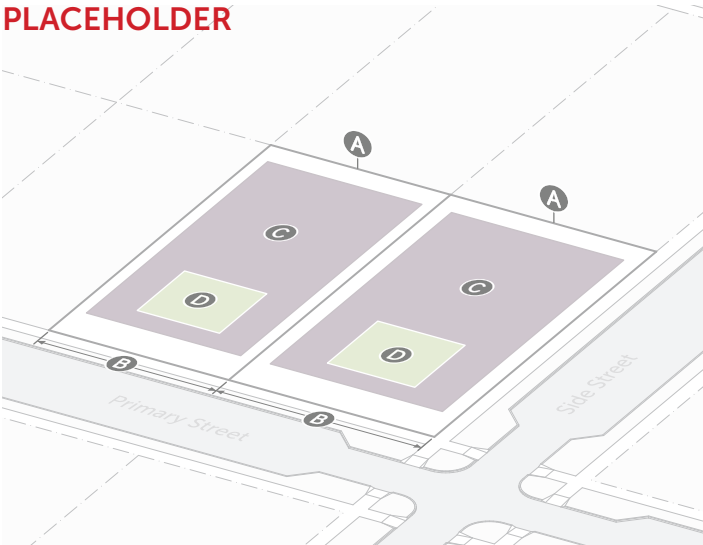


4. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	20%
Side street	15%
G Upper story windows (min)	10%
H Blank wall width (max)	20'
I Street-facing entry	Required
Primary street	40'
Side street	60'
Entry feature	Porch Raised Entry Forecourt
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 1
Side street yard	Type 2
Side / rear yard	Type 3

SEC. 2.3.12. ~~N6A RESIDENTIAL~~ NEIGHBORHOOD 6A

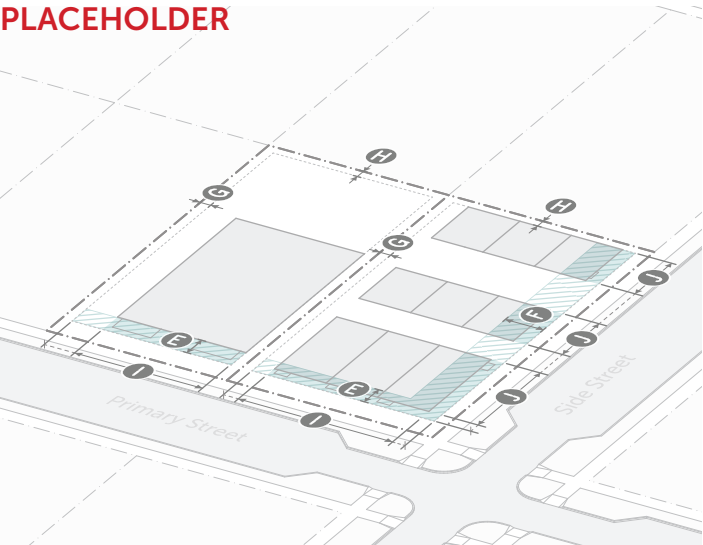
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	2,000 sf
B Width (min)	20'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (NLA max)	1.0
3. Coverage	Sec. XX.XX.
C Building coverage (max)	75%
D Outdoor amenity space (min)	20%
4. Streetscapes	Sec. XX.XX.
Landscape <u>Amenity</u> zone	Required
Pedestrian walk zone	Required
<u>Front and side street</u> yard landscaping	Required

PLACEHOLDER

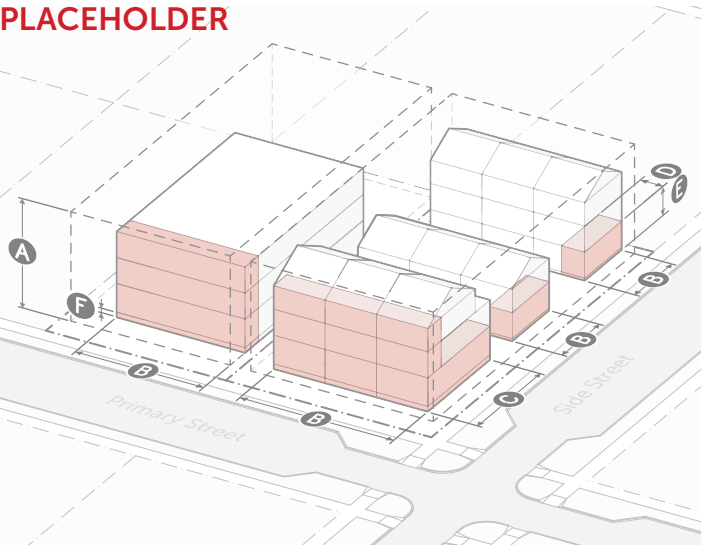


5. Building Setbacks	Sec. XX.XX.
E Street setback (min)	
Primary street	Existing range or 15' / 30'
Side street	5' / 20'
F Side setback (min)	10'
G Rear alley setback (min)	15'
6. Transition	Sec. XX.XX.
Transition type	Low
7. Build-To	Sec. XX.XX.
H Build-to width (min)	
Primary street	75%
Side street	45%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

N6A ~~RESIDENTIAL~~ NEIGHBORHOOD 6A

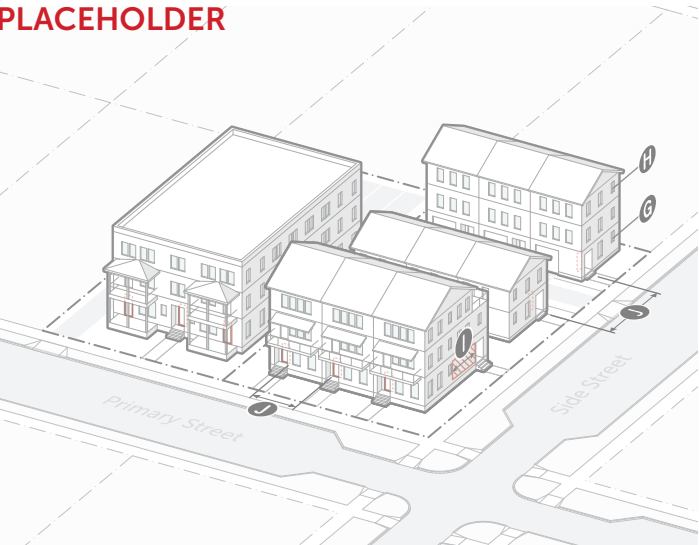
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	3 stories / 40'
B Building width (max)	<u>100'</u>
2. Activation	Sec. XX.XX.
C Active depth (min stories/feet)	
Primary street	<u>1-story</u> / 20'
Side street	<u>1-story</u> / 10'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	<u>9'</u>
E Ground story elevation (min/max)	0' / 4'

PLACEHOLDER

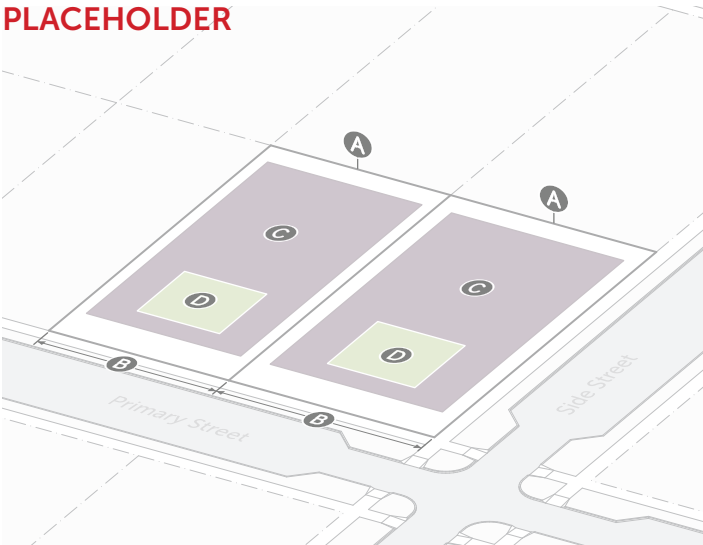


4. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	<u>30%</u>
Side street	<u>25%</u>
G Upper story windows (min)	20%
H Blank wall width (max)	20'
I <u>Street-facing entry</u>	<u>Required</u>
<u>Primary street</u>	<u>40'</u>
<u>Side street</u>	<u>60'</u>
<u>Entry feature</u>	<u>Porch</u> <u>Raised Entry</u> <u>Forecourt</u> <u>Covered entry</u> <u>Forecourt</u>
5. Fences and Walls	Sec. XX.XX.
	Res. Nonres.
Front yard	<u>Type 1</u> <u>Type 4</u>
Side street yard	<u>Type 2</u> <u>Type 4</u>
Side / rear yard	<u>Type 3</u> <u>Type 5</u>

SEC. 2.3.13. ~~N6B RESIDENTIAL~~ NEIGHBORHOOD 6B

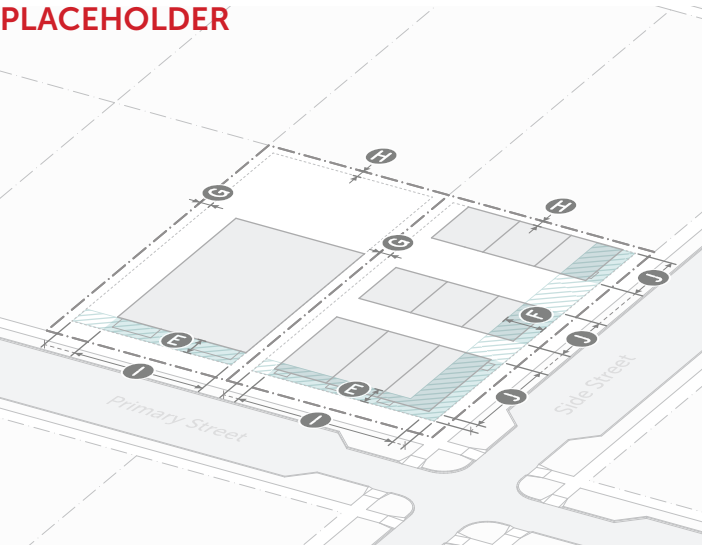
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	2,000 sf
B Width (min)	20'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (NLA max)	1.75
3. Coverage	Sec. XX.XX.
C Building coverage (max)	80%
D Outdoor amenity space (min)	20%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required
Front and side street yard landscaping	Required

PLACEHOLDER

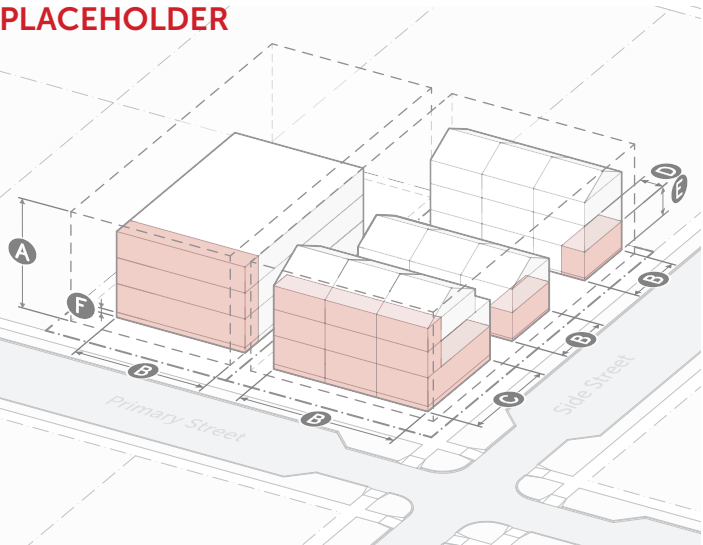


5. Building Setbacks	Sec. XX.XX.
E Street setback (min)	
Primary street	Existing range or 15' / 30'
Side street	5' / 20'
F Side setback (min)	10'
G Rear alley setback (min)	15'
6. Transition	Sec. XX.XX.
Transition type	Low
7. Build-To	Sec. XX.XX.
H Build-to width (min)	
Primary street	75%
Side street	45%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

~~N6B RESIDENTIAL~~ NEIGHBORHOOD 6B

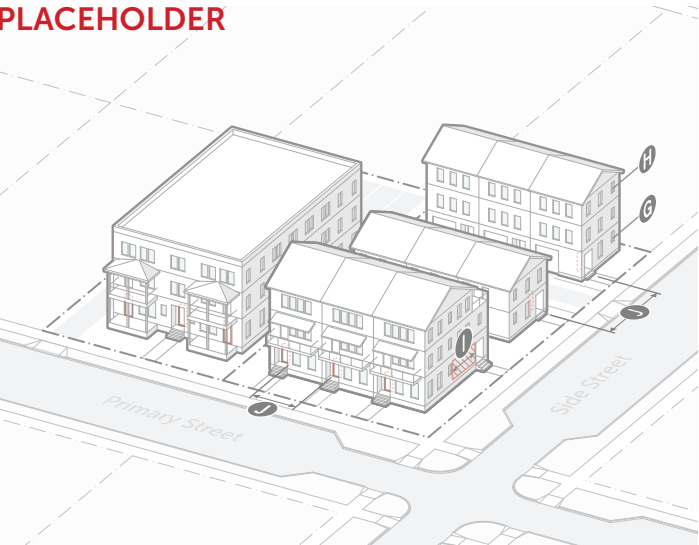
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	4 stories / 52'
B Building width (max)	100'
2. Activation	Sec. XX.XX.
C Active depth (min stories/feet)	
Primary street	1-story / 20'
Side street	1-story / 10'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	9'
E Ground story elevation (min/max)	0' / 4'

PLACEHOLDER



4. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	30%
Side street	25%
G Upper story windows (min)	20%
H Blank wall width (max)	20'
I Street-facing entry	Required
Primary street	40'
Side street	60'
Entry feature	Porch Raised Entry Forecourt Covered entry Forecourt
5. Fences and Walls	Sec. XX.XX.
	Res. Nonres.
Front yard	Type 1 Type 4
Side street yard	Type 2 Type 4
Side / rear yard	Type 3 Type 5

DIVISION 2.4. **URBAN GENERAL DISTRICTS**



Sec. 2.4.1. **Intent**

Urban General Form Districts are intended to accommodate a range of low-, moderate-, and higher-intensity buildings with easy access to retail, food and entertainment, and service-oriented uses in a vibrant, pedestrian-friendly environment.

Some Urban General Form Districts are paired with Use Districts that primarily allow residential uses, with some commercial uses that limited in size and extent. Other Urban General Form Districts are paired with Use Districts that permit a variety of uses, from local businesses embedded in neighborhoods to more dense mixed-use development.

Sec. 2.4.2. **Summary of Districts**

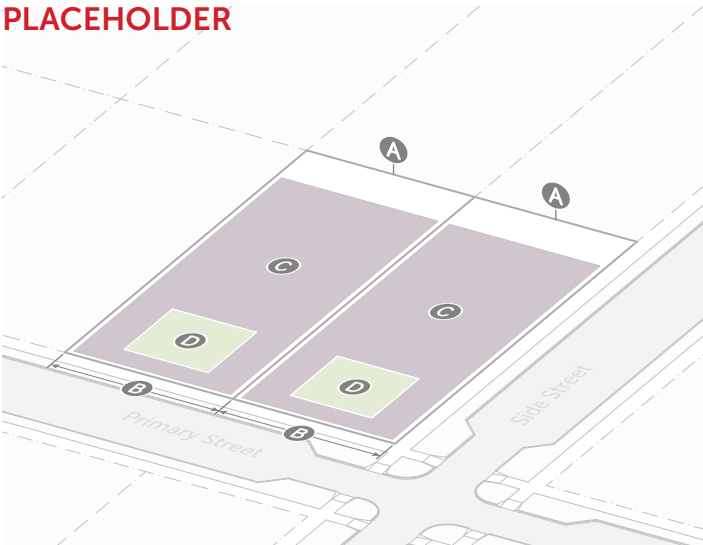
The following table includes a summary of some requirements for each Urban General Form District. Detailed requirements are further described in this Division.

URBAN GENERAL DISTRICTS					
District	Lot Area (min)	Lot Width (min)	FAR (GLA max)		Height (max)
			Base	With Bonus	
UG3A	1,000 sf	20'	1.0	2.0	3 stories / 45'
UG3B	None	None	1.5	3.0	3 stories / 45'
UG5A	None	None	1.5	3.0	5 stories / 70'
UG5B	None	None	2.0	4.0	5 stories / 70'
UG8A	None	None	2.0	4.0	8 stories / 115'
UG8B	None	None	3.0	6.0	8 stories / 115'
UG15	None	None	3.0	4.5	15 stories / 210'
UG25	None	None	5.0	8.5	25 stories / 350'

SEC. 2.4.3. **UG3** URBAN GENERAL 3

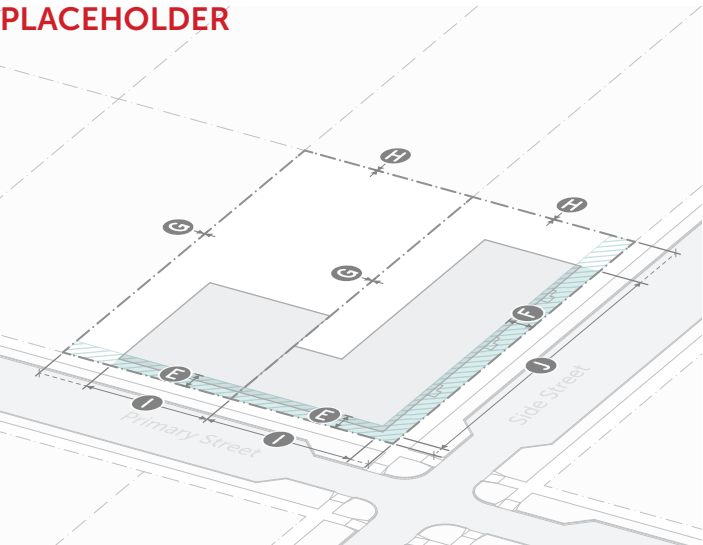
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.	
A Area (min)	1,000 sf	
B Width (min)	20'	
2. Density	Sec. XX.XX.	
	UG3A	UG3B
Dwelling units per lot (max)	Unlimited	Unlimited
FAR (GLA max)		
Base	1.0	1.5
With bonus	2.0	3.0
3. Coverage	Sec. XX.XX.	
C Building coverage (max)	85%	
D Outdoor amenity space (min)		
Up to 1 acre	10%	
Over 1 acre	15%	
4. Streetscapes	Sec. XX.XX.	
Amenity zone	Required	
Pedestrian zone	Required	
Front and side street yard landscaping		
Residential	Required	
Nonresidential / storefront	Not required	

PLACEHOLDER

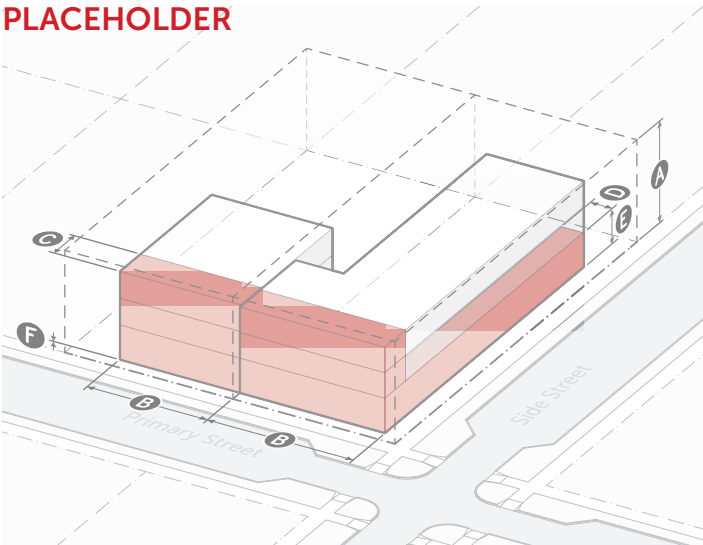


5. Building Setbacks	Sec. XX.XX.	
E Street setback (min/max)		
Primary street	5' / 15'	
Side street	5' / 15'	
Storefront street	0' / 10'	
F Side setback (min)	0'	
G Rear setback (min)	0'	
6. Transition	Sec. XX.XX.	
Transition type	Low	
7. Build-To	Sec. XX.XX.	
Build-to width (min)		
H Primary street	75%	
I Side street	50%	
Storefront street	85%	
8. Parking Location	Sec. XX.XX.	
No parking allowed between building and street		

UG3 URBAN GENERAL 3

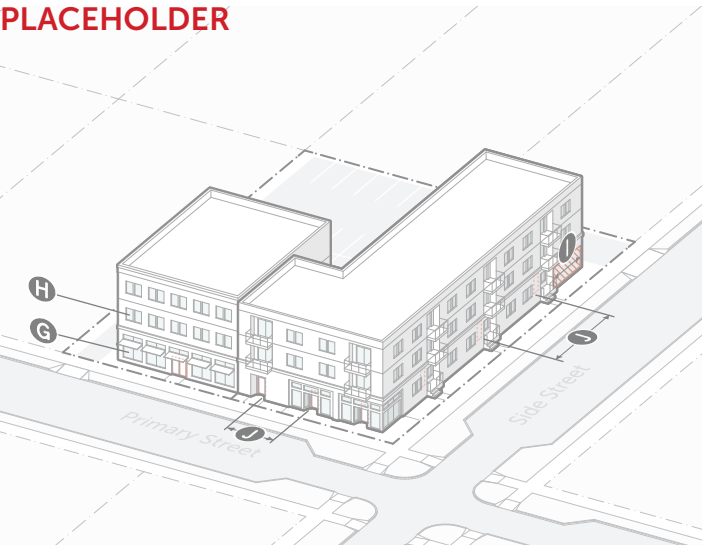
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.	
A Building height (max stories/feet)	3 stories / 45'	
B Building width (max)		
Primary street	275'	
Side street	275'	
Storefront street	175'	
2. Activation	Sec. XX.XX.	
C Active depth (min)		
Primary street	20'	
Side street	10'	
Storefront street	30'	
3. Ground Story	Sec. XX.XX.	
	Res.	Nonres.
D Ground story height (min)	10'	14'
E Ground story elevation (min/max)	0' / 4'	-2' / 4'

PLACEHOLDER

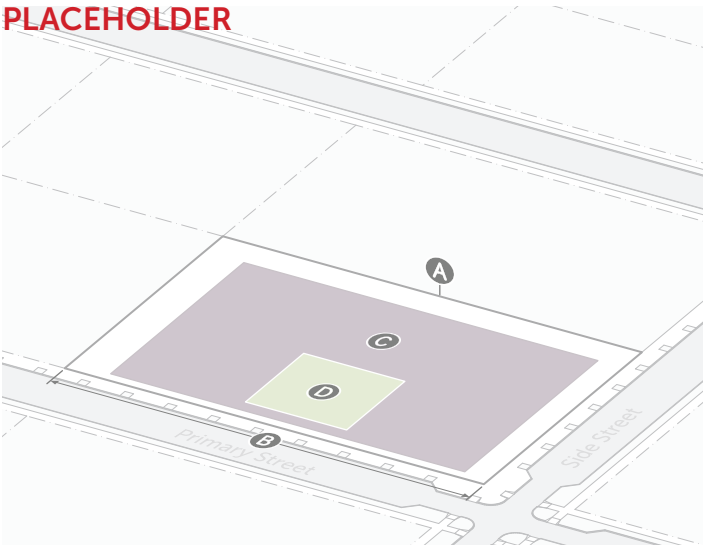


4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary street	30%	50%
Side street	25%	25%
Storefront street	70%	70%
G Upper story windows (min)	20%	20%
H Blank wall width (max)		
Primary street	15'	15'
Side street	25'	25'
Storefront street	10'	10'
I Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

SEC. 2.4.4. **UG5** URBAN GENERAL 5

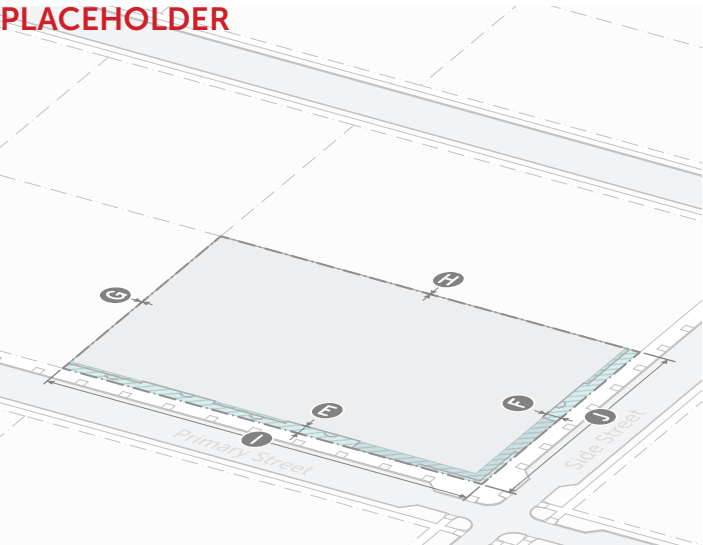
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.	
A Area (min)	None	
B Width (min)	None	
2. Density	Sec. XX.XX.	
	UG5A	UG5B
Dwelling units per lot (max)	Unlimited	Unlimited
FAR (GLA max)		
Base	1.5	2.0
With bonus	3.0	4.0
3. Coverage	Sec. XX.XX.	
C Building coverage (max)	85%	
D Outdoor amenity space (min)		
Up to 1 acre	10%	
Over 1 acre	15%	
4. Streetscapes	Sec. XX.XX.	
Amenity zone	Required	
Pedestrian zone	Required	
Front and side street yard landscaping		
Residential	Required	
Nonresidential / storefront	Not required	

PLACEHOLDER

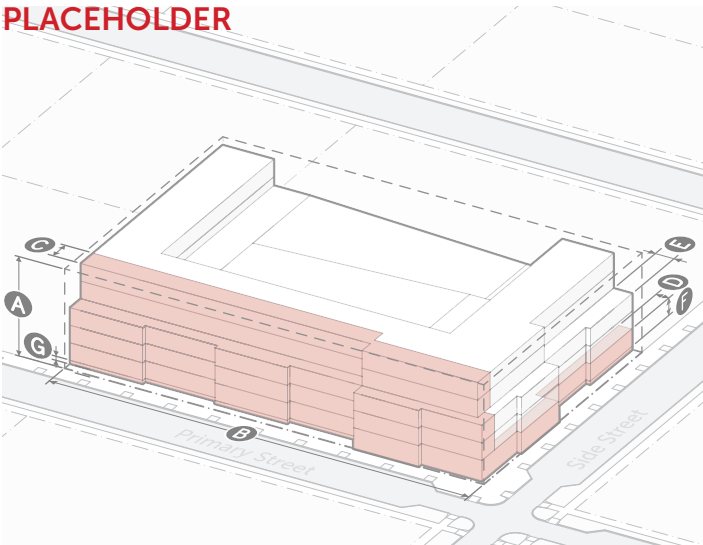


5. Building Setbacks	Sec. XX.XX.	
E Street setback (min/max)		
Primary street	5' / 15'	
Side street	5' / 15'	
Storefront street	0' / 10'	
F Side setback (min)	0'	
G Rear setback (min)	0'	
6. Transition	Sec. XX.XX.	
Transition type	Low	
7. Build-To	Sec. XX.XX.	
Build-to width (min)		
H Primary street	75%	
I Side street	50%	
Storefront street	85%	
8. Parking Location	Sec. XX.XX.	
No parking allowed between building and street		

UG5 URBAN GENERAL 5

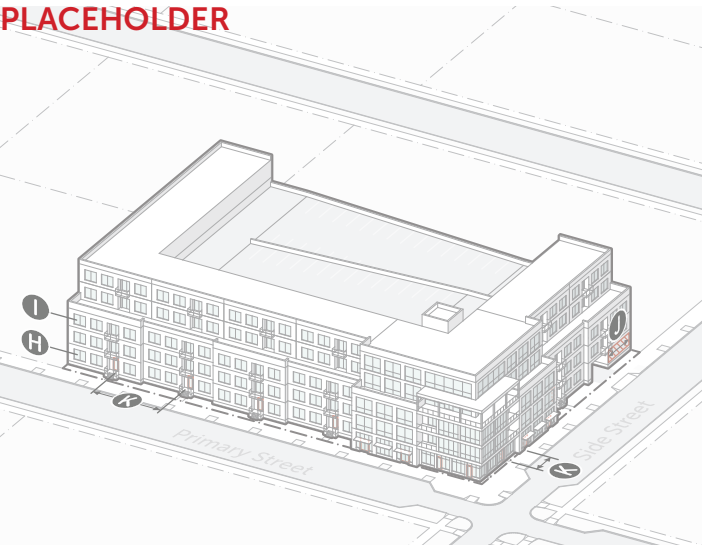
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.	
A Building height (max stories/feet)	5 stories / 70'	
B Building width (max)		
Primary street	275'	
Side street	275'	
Storefront street	175'	
2. Activation	Sec. XX.XX.	
C Active depth (min)		
Primary street	20'	
Side street	10'	
Storefront street	30'	
3. Ground Story	Sec. XX.XX.	
	Res.	Nonres.
D Ground story height (min)	10'	14'
E Ground story elevation (min/max)	0' / 4'	-2' / 4'

PLACEHOLDER

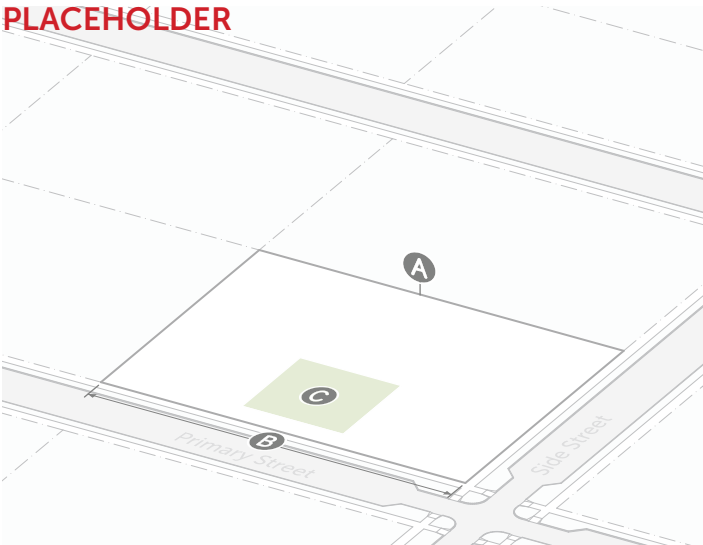


4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary street	30%	50%
Side street	25%	25%
Storefront street	70%	70%
G Upper story windows (min)	20%	20%
H Blank wall width (max)		
Primary street	15'	15'
Side street	25'	25'
Storefront street	10'	10'
I Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

SEC. 2.4.5. **UG8** URBAN GENERAL 8

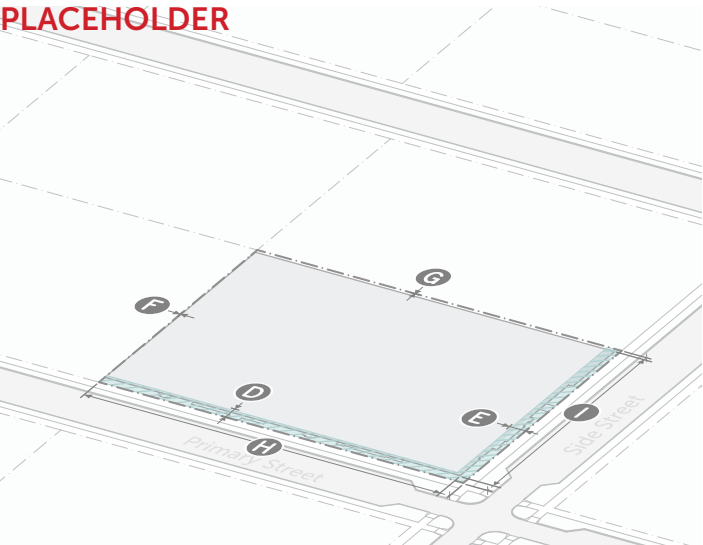
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.	
A Area (min)	None	
B Width (min)	None	
2. Density	Sec. XX.XX.	
	UG8A	UG8B
Dwelling units per lot (max)	Unlimited	Unlimited
FAR (GLA max)		
Base	2.0	3.0
With bonus	4.0	6.0
3. Coverage	Sec. XX.XX.	
C Building coverage (max)	85%	
D Outdoor amenity space (min)		
Up to 1 acre	10%	
Over 1 acre	15%	
4. Streetscapes	Sec. XX.XX.	
Amenity zone	Required	
Pedestrian zone	Required	
Front and side street yard landscaping		
Residential	Required	
Nonresidential / storefront	Not required	

PLACEHOLDER

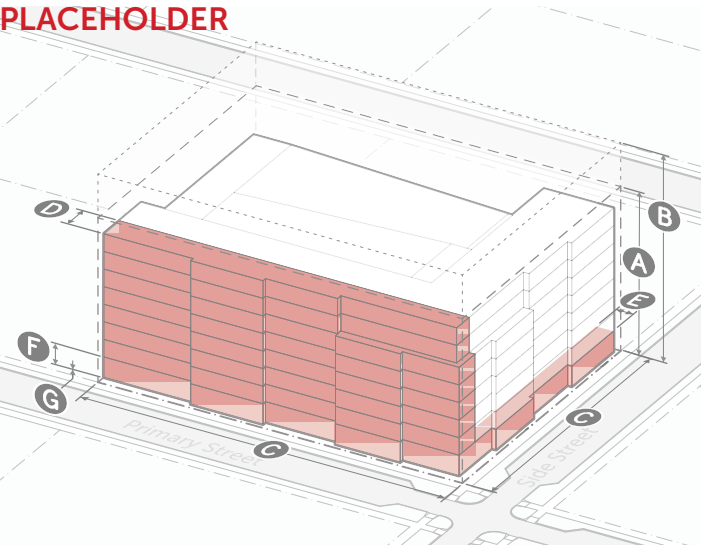


5. Building Setbacks	Sec. XX.XX.	
E Street setback (min/max)		
Primary street	5' / 15'	
Side street	5' / 15'	
Storefront street	0' / 10'	
G Side setback (min)	0'	
H Rear setback (min)	0'	
6. Transition	Sec. XX.XX.	
Transition type	Medium	
7. Build-To	Sec. XX.XX.	
Build-to width (min)		
I Primary street	75%	
I Side street	50%	
Storefront street	85%	
8. Parking Location	Sec. XX.XX.	
No parking allowed between building and street		

UG8 URBAN GENERAL 8

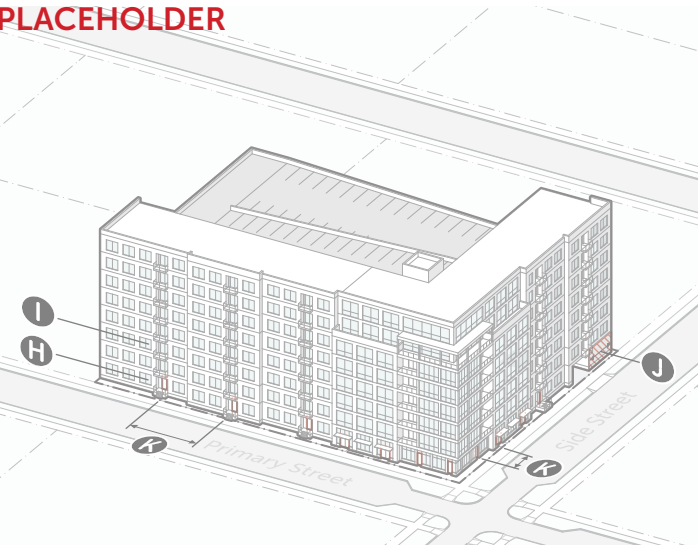
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.	
A Building height (max stories/feet)	8 stories / 115'	
B Building width (max)		
Primary street	275'	
Side street	275'	
Storefront street	175'	
2. Activation	Sec. XX.XX.	
C Active depth (min)		
Primary street	20'	
Side street	10'	
Storefront street	30'	
3. Ground Story	Sec. XX.XX.	
	Res.	Nonres.
D Ground story height (min)	10'	14'
E Ground story elevation (min/max)	0' / 4'	-2' / 4'

PLACEHOLDER

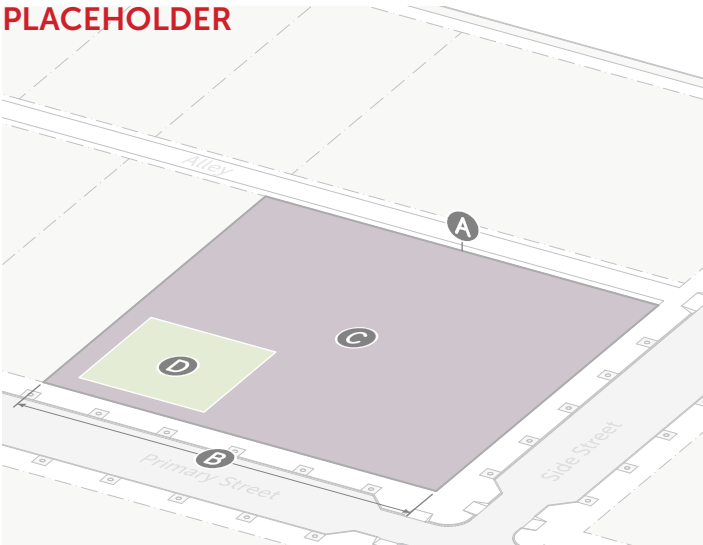


4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary street	30%	50%
Side street	25%	25%
Storefront street	70%	70%
G Upper story windows (min)	20%	20%
I Blank wall width (max)		
Primary street	15'	15'
Side street	25'	25'
Storefront street	10'	10'
H Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

SEC. 2.4.6. **UG15** URBAN GENERAL 15

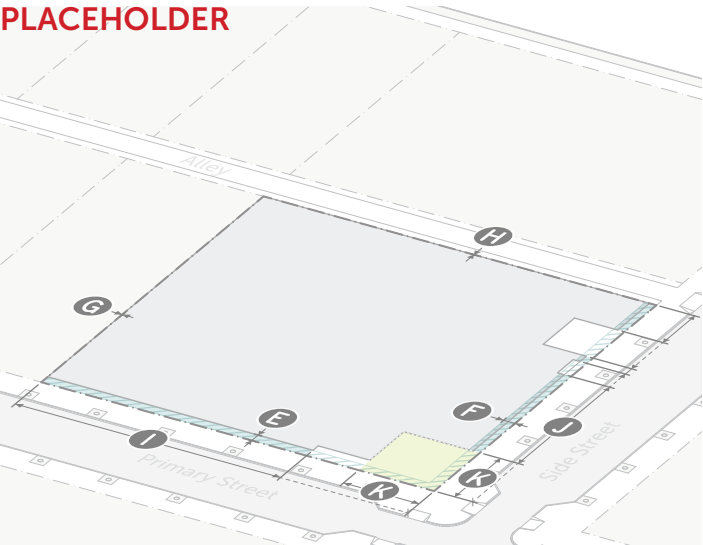
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	None
B Width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
Base	3.0
With bonus	4.5
3. Coverage	Sec. XX.XX.
C Building coverage (max)	85%
D Outdoor amenity space (min)	
Up to 1 acre	10%
Over 1 acre	15%
4. Streetscapes	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

PLACEHOLDER

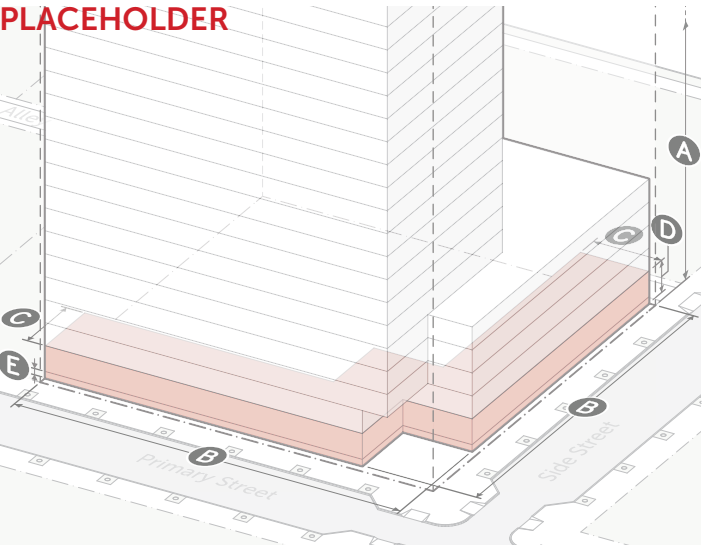


5. Building Setbacks	Sec. XX.XX.
E Street setback (min/max)	
Primary street	5' / 15'
Side street	5' / 15'
Storefront street	0' / 10'
G Side setback (min)	0'
H Rear setback (min)	0'
6. Transition	Sec. XX.XX.
Transition type	High
7. Build-To	Sec. XX.XX.
Build-to width (min)	
I Primary street	75%
I Side street	50%
Storefront street	85%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

UG15 URBAN GENERAL 15

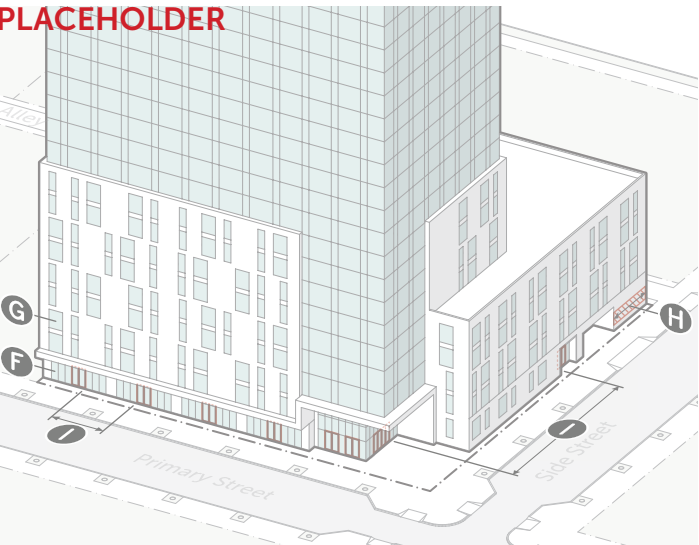
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	15 stories / 210'
B Building width (max)	
Primary street	275'
Side street	275'
Storefront street	175'
2. Activation	Sec. XX.XX.
C Active depth (min)	
Primary street	20'
Side street	10'
Storefront street	30'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	Res. 10' Nonres. 14'
E Ground story elevation (min/max)	0' / 4' -2' / 4'

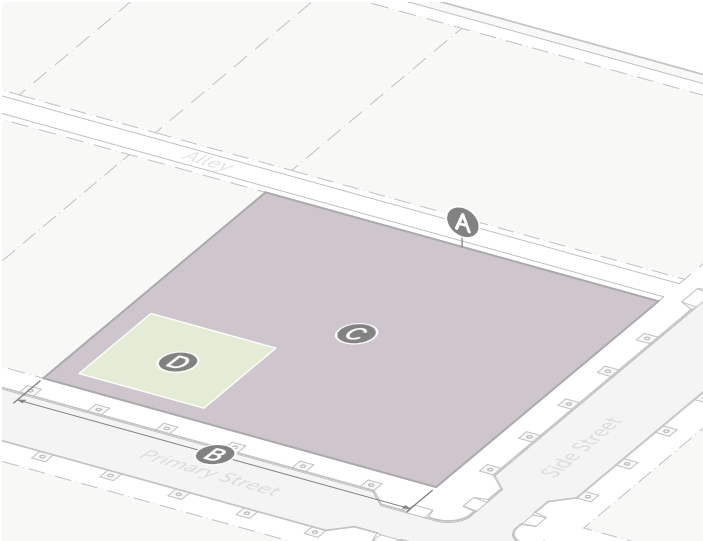
PLACEHOLDER



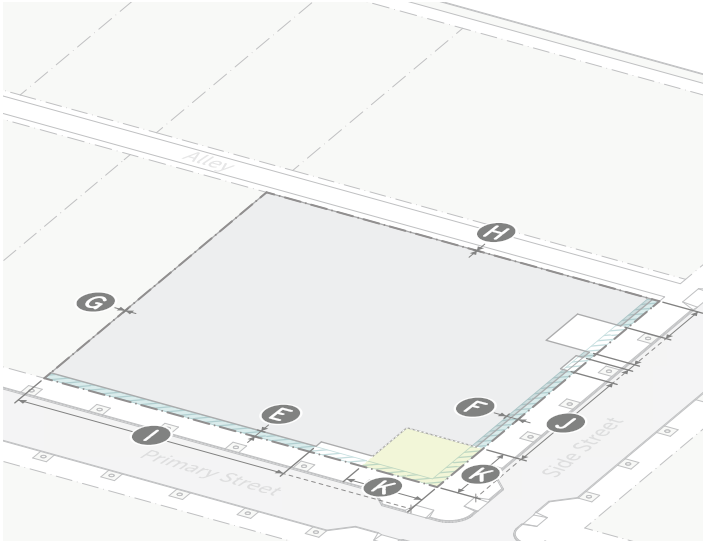
4. Windows and Doors	Sec. XX.XX.
	Res. Nonres.
F Ground story windows (min)	
Primary street	30% 50%
Side street	25% 25%
Storefront street	70% 70%
G Upper story windows (min)	20% 20%
I Blank wall width (max)	
Primary street	15' 15'
Side street	25' 25'
Storefront street	10' 10'
H Street-facing entry	Required Required
5. Fences and Walls	Sec. XX.XX.
	Res. Nonres.
Front yard	Type 1 Type 4
Side street yard	Type 2 Type 4
Side / rear yard	Type 3 Type 5

SEC. 2.4.7. **UG25** URBAN GENERAL 25

A. Lot Standards



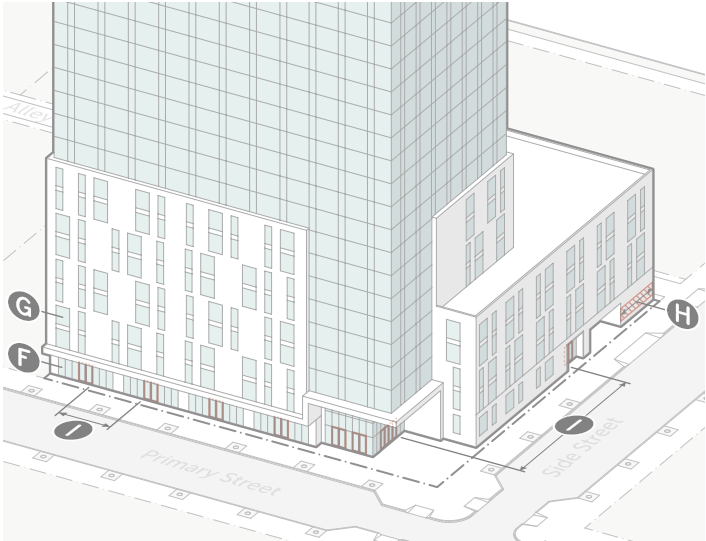
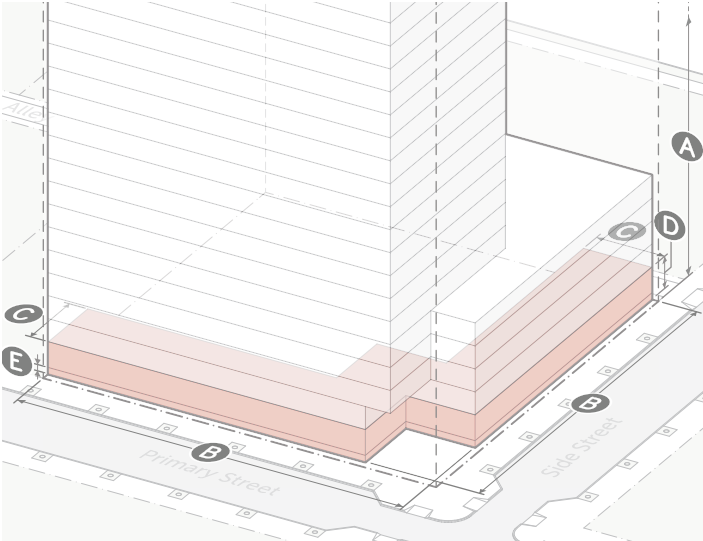
1. Lot Size	Sec. XX.XX.
A Area (min)	None
B Width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
Base	5.0
With bonus	8.5
3. Coverage	Sec. XX.XX.
C Building coverage (max)	85%
D Outdoor amenity space (min)	
Up to 1 acre	10%
Over 1 acre	15%
4. Streetscapes	Sec. XX.XX.
Amenity zone	Required
Pedestrian zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required



5. Building Setbacks	Sec. XX.XX.
E Street setback (min/max)	
Primary street	5' / 15'
Side street	5' / 15'
Storefront street	0' / 10'
G Side setback (min)	0'
H Rear setback (min)	0'
6. Transition	Sec. XX.XX.
Transition type	High
7. Build-To	Sec. XX.XX.
Build-to width (min)	
I Primary street	75%
I Side street	50%
Storefront street	85%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

UG25 URBAN GENERAL 25

B. Building Standards



1. Massing		Sec. XX.XX.	
A	Building height (max stories/feet)	25 stories / 350'	
B	Building width (max)		
	Primary street	275'	
	Side street	275'	
	Storefront street	175'	
2. Activation		Sec. XX.XX.	
C	Active depth (min)		
	Primary street	20'	
	Side street	10'	
	Storefront street	30'	
3. Ground Story		Sec. XX.XX.	
		Res.	Nonres.
D	Ground story height (min)	10'	14'
E	Ground story elevation (min/max)	0' / 4'	-2' / 4'

4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
<u>F</u> Ground story windows (min)		
Primary street	30%	50%
Side street	25%	25%
Storefront street	70%	70%
<u>G</u> Upper story windows (min)	20%	20%
<u>I</u> Blank wall width (max)		
Primary street	15'	15'
Side street	25'	25'
Storefront street	10'	10'
<u>H</u> Street-facing entry	Required	Required
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

DIVISION 2.5. **URBAN CORE DISTRICTS**

PLACEHOLDER
FOR GRAPHIC

Intent

Urban Core Form Districts are intended to accommodate the City’s highest intensity development and most mixed-use and pedestrian-friendly environments. These Form Districts require tall ground stories with large windows to accommodate retail-ready ground stories.

Urban Core Form Districts are typically paired with Use Districts that accommodate a variety of residential, retail, service, and commercial uses. Although buildings are allowed to be exclusively residential or commercial in use, a mix of uses is encouraged and intended to occur over time.

Urban Core districts are intended for areas designated as Growth Core in Atlanta City Design.

Sec. 2.5.1. **Summary of Districts**

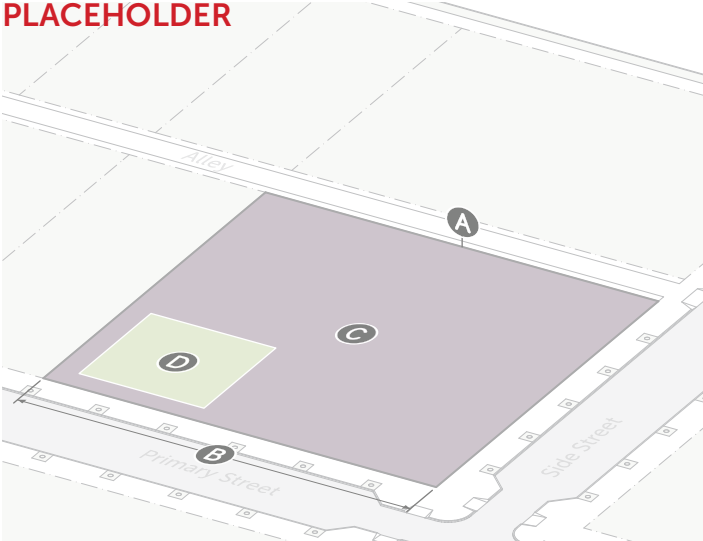
The following table includes a summary of some requirements for each Urban Core Form District. Detailed requirements are further described in this Division.

URBAN CORE DISTRICTS					
District	Lot Area (min)	Lot Width (min)	FAR (GLA max)		Height (max)
			Base	With Bonus	
UC1	None	None	7.0	11.0	Unlimited
UC2	None	None	10.0	17.0	Unlimited
UC3	None	None	10.0	20.0	Unlimited
UC4	None	None	25.0	35.0	Unlimited

SEC. 2.5.2. **UC1** URBAN CORE 1

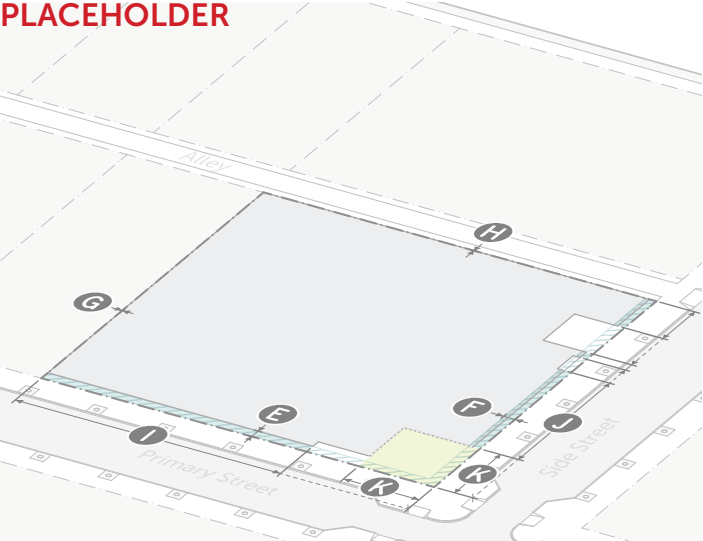
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	None
B Width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
Base	7.0
With bonus	11.0
3. Coverage	Sec. XX.XX.
Building coverage (max)	None
C Outdoor amenity space (min)	10%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required
Front and side street yard landscaping	
Residential	Required
Nonresidential / storefront	Not required

PLACEHOLDER

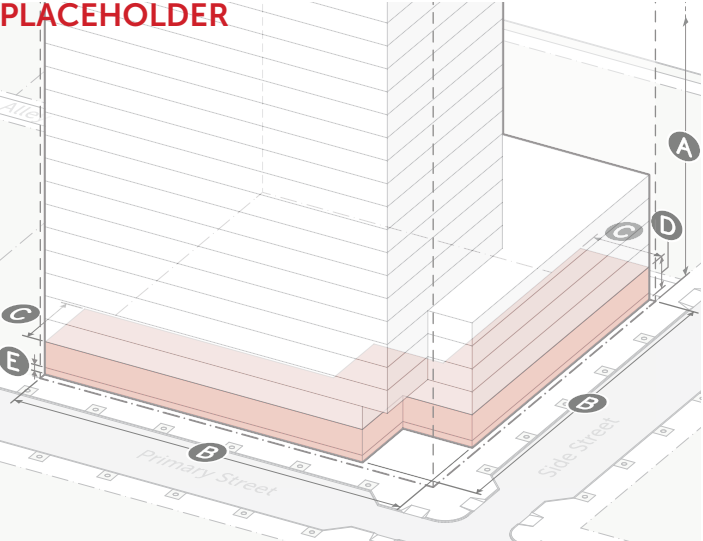


5. Building Setbacks	Sec. XX.XX.
D Street setback (min/max)	See Streetscape Map
E Side setback (min)	0'
F Rear /alley setback (min)	0'
6. Transition	Sec. XX.XX.
Transition type	High
7. Build-To	Sec. XX.XX.
Build-to width (min)	
G Primary /storefront street	85%
H Side street	65%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

UC1 URBAN CORE 1

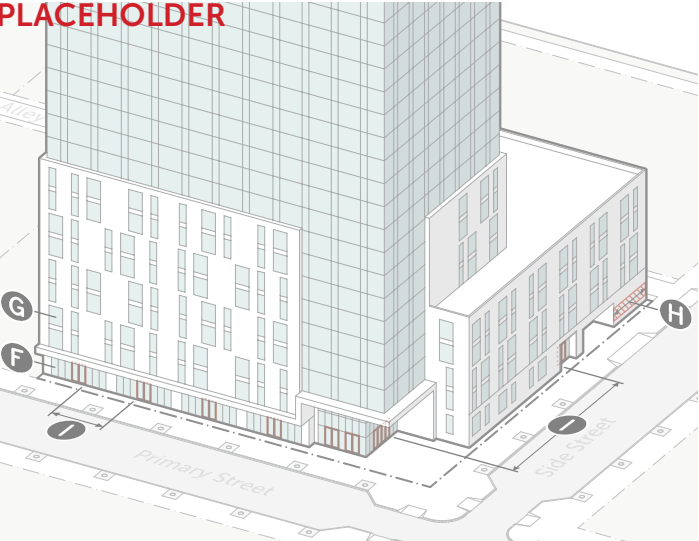
B. Building Standards

PLACEHOLDER



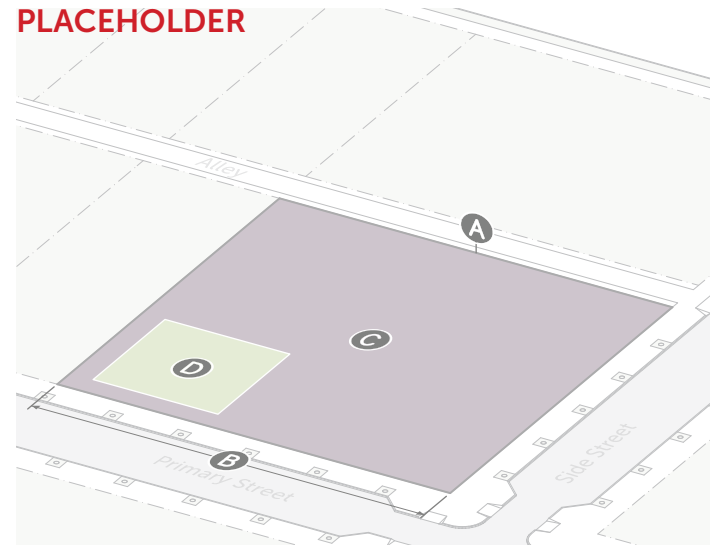
1. Massing	Sec. XX.XX.
A Building height (stories/feet)	
Minimum height	3 stories / 35'
Maximum height	Unlimited
B Building width (max)	175'
2. Activation	Sec. XX.XX.
C Active depth (min-stories/feet)	
Primary /storefront street	All stories / 30'
Side street	All stories / 15'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'

PLACEHOLDER

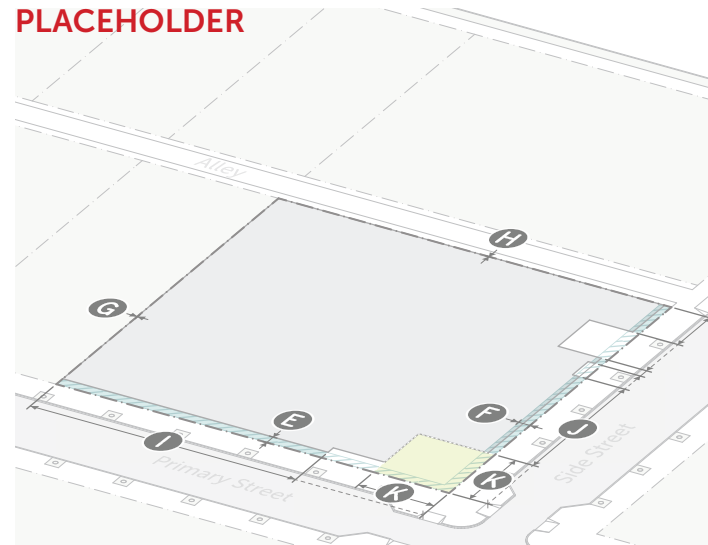


4. Windows and Doors	Sec. XX.XX.	
	Res.	Nonres.
F Ground story windows (min)		
Primary /storefront street	70%	70%
Side street	25%	50%
G Upper story windows (min)	20%	20%
I Blank wall width (max)		
Primary /storefront street	10'	10'
Side street	20'	20'
H Street-facing entry	Required	Required
Primary-street	40'	40'
Side-street	60'	60'
Entry feature	Recessed-entry Covered-entry Forecourt	
5. Fences and Walls	Sec. XX.XX.	
	Res.	Nonres.
Front yard	Type 1	Type 4
Side street yard	Type 2	Type 4
Side / rear yard	Type 3	Type 5

A. Lot Standards



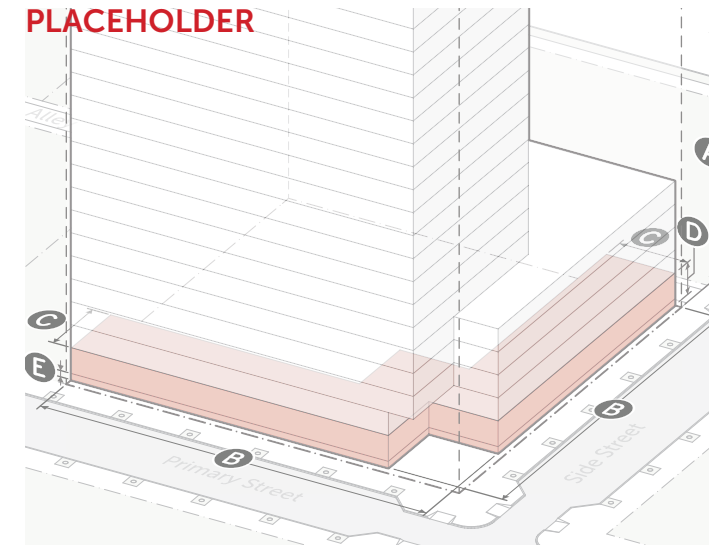
1. Lot Size	<i>Sec. XX.XX.</i>
A Area (min)	<u>None</u>
B Width (min)	<u>None</u>
2. Density	<i>Sec. XX.XX.</i>
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
<u>Base</u>	<u>10.0</u>
<u>With bonus</u>	<u>17.0</u>
3. Coverage	<i>Sec. XX.XX.</i>
<u>Building coverage (max)</u>	<u>None</u>
C Outdoor amenity space (min)	10%
4. Streetscapes	<i>Sec. XX.XX.</i>
Landscape <u>Amenity</u> zone	Required
Pedestrian walk zone	Required
<u>Front and side street</u> yard landscaping	
<u>Residential</u>	<u>Required</u>
<u>Nonresidential / storefront</u>	<u>Not required</u>



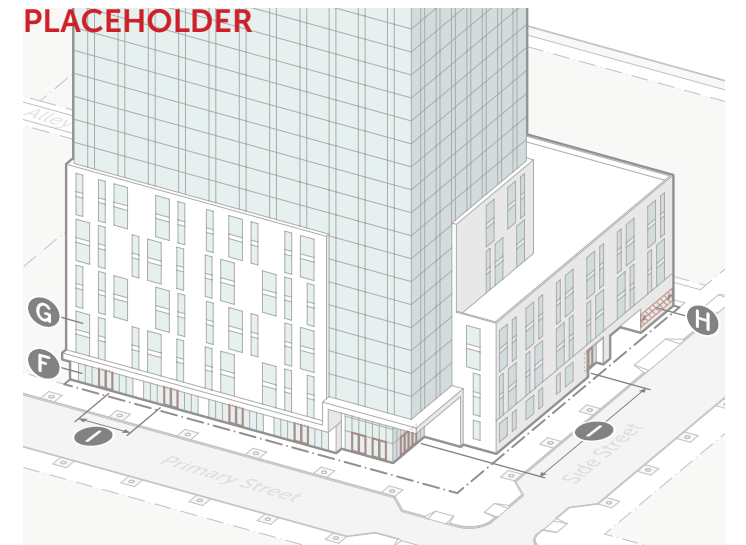
5. Building Setbacks	<i>Sec. XX.XX.</i>
D <u>Street setback (min/max)</u>	See Streetscape Map
E Side setback (min)	0'
F Rear alley setback (min)	0'
6. Transition	<i>Sec. XX.XX.</i>
<u>Transition type</u>	High
7. Build-To	<i>Sec. XX.XX.</i>
Build-to width (min)	
G Primary <u>/storefront</u> street	85%
H Side street	65%
8. Parking Location	<i>Sec. XX.XX.</i>
No parking allowed between building and street	

UC2 URBAN CORE 2

B. Building Standards



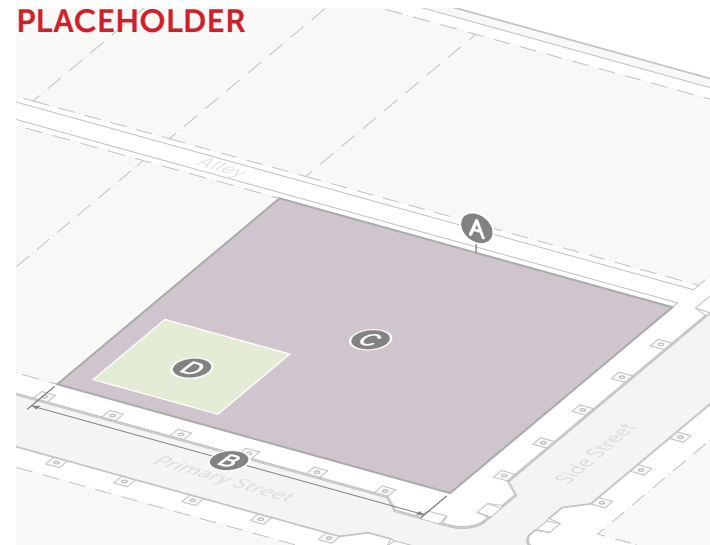
1. Massing	<i>Sec. XX.XX.</i>
A Building height (stories/feet)	
Minimum height	3 stories / 35'
Maximum height	Unlimited
B Building width (max)	175'
2. Activation	<i>Sec. XX.XX.</i>
C Active depth (min stories/feet)	
Primary <u>/ storefront</u> street	All stories + 30'
Side street	All stories + 15'
3. Ground Story	<i>Sec. XX.XX.</i>
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'



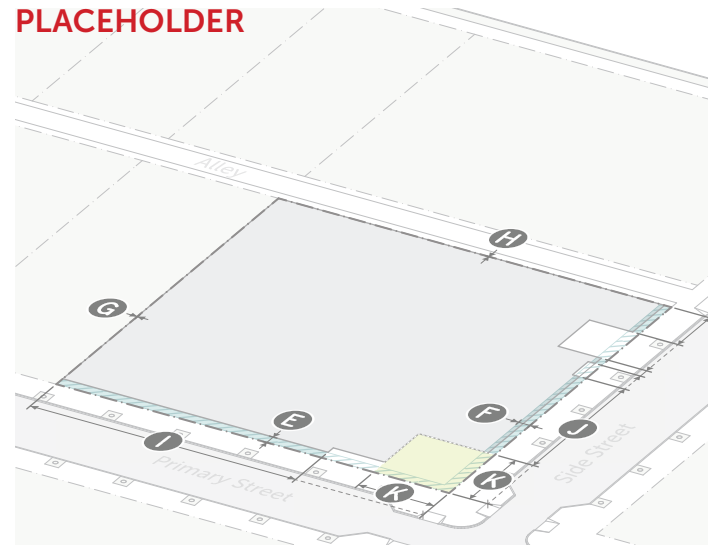
4. Windows and Doors		Sec. XX.XX.	
	Res.	Nonres.	
F Ground story windows (min)			
Primary / <u>storefront</u> street	70%	70%	
Side street	<u>25%</u>	50%	
G Upper story windows (min)	20%	20%	
I Blank wall width (max)			
Primary / <u>storefront</u> street	10'	10'	
Side street	20'	20'	
H <u>Street-facing entry</u>	<u>Required</u>	<u>Required</u>	
Primary-street	40'	40'	
Side-street	60'	60'	
Entry feature	Recessed entry Covered entry Forecourt		
5. Fences and Walls		Sec. XX.XX.	
	Res.	Nonres.	
Front yard	Type 1	Type 4	
Side street yard	Type 2	Type 4	
Side / rear yard	Type 3	Type 5	

SEC. 2.5.4. UC3 URBAN CORE 3

A. Lot Standards



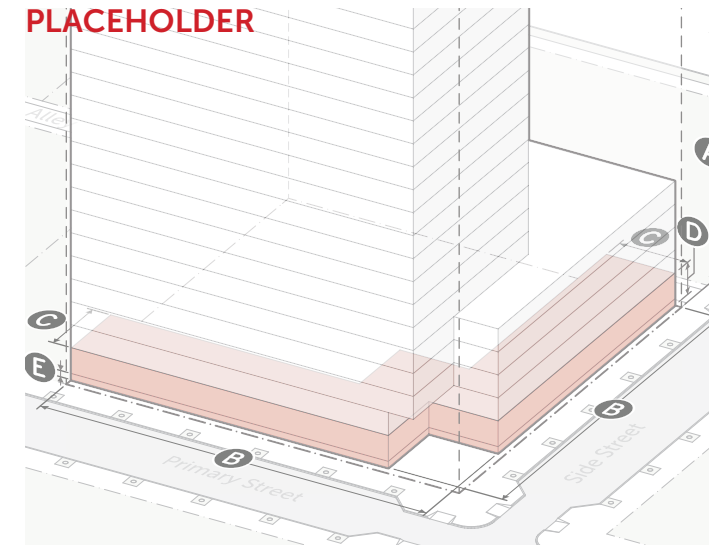
1. Lot Size	<i>Sec. XX.XX.</i>
A Area (min)	<u>None</u>
B Width (min)	<u>None</u>
2. Density	<i>Sec. XX.XX.</i>
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
<u>Base</u>	<u>10.0</u>
<u>With bonus</u>	<u>20.0</u>
3. Coverage	<i>Sec. XX.XX.</i>
<u>Building coverage (max)</u>	<u>None</u>
C Outdoor amenity space (min)	10%
4. Streetscapes	<i>Sec. XX.XX.</i>
Landscape <u>Amenity</u> zone	Required
Pedestrian walk zone	Required
<u>Front and side street</u> yard landscaping	
<u>Residential</u>	<u>Required</u>
<u>Nonresidential / storefront</u>	<u>Not required</u>



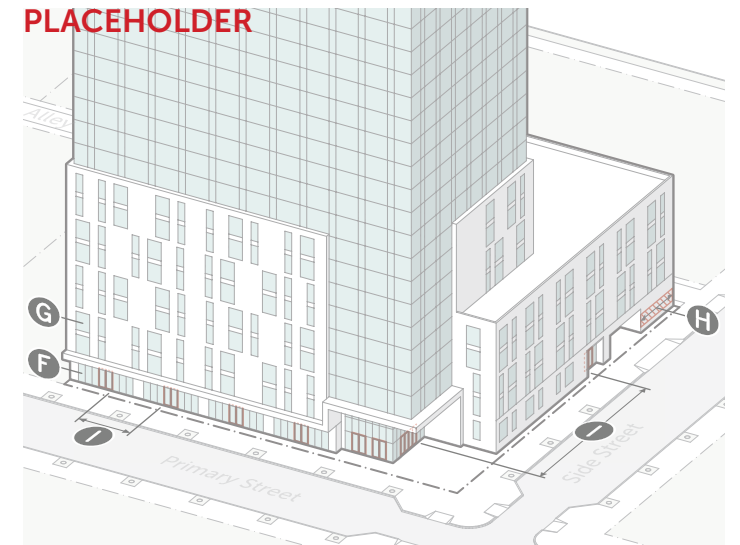
5. Building Setbacks	<i>Sec. XX.XX.</i>
D <u>Street setback (min/max)</u>	See Streetscape Map
E Side setback (min)	0'
F Rear 7 - <u>alley</u> setback (min)	0'
6. Build-To	<i>Sec. XX.XX.</i>
Build-to width (min)	
G Primary <u>/storefront</u> street	85%
H Side street	65%
7. Parking Location	<i>Sec. XX.XX.</i>
No parking allowed between building and street	

UC3 URBAN CORE 3

B. Building Standards



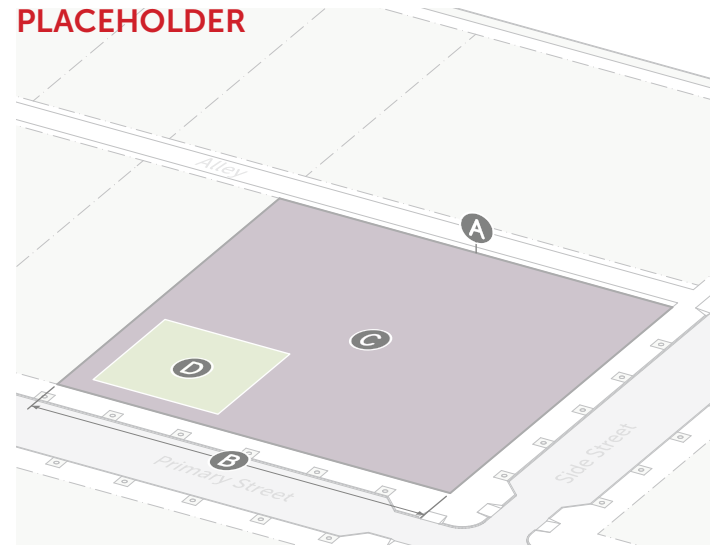
1. Massing	<i>Sec. XX.XX.</i>
A Building height (stories/feet)	
Minimum height	3 stories / 35'
Maximum height	Unlimited
B Building width (max)	175'
2. Activation	<i>Sec. XX.XX.</i>
C Active depth (min stories/feet)	
Primary <u>/ storefront</u> street	All stories + 30'
Side street	All stories + 15'
3. Ground Story	<i>Sec. XX.XX.</i>
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'



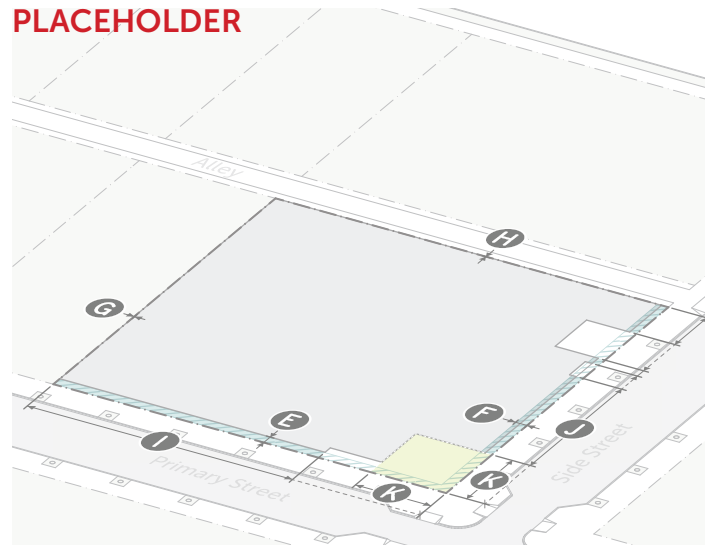
4. Windows and Doors		Sec. XX.XX.	
	Res.	Nonres.	
F Ground story windows (min)			
Primary / <u>storefront</u> street	70%	70%	
Side street	<u>25%</u>	50%	
G Upper story windows (min)	20%	20%	
I Blank wall width (max)			
Primary / <u>storefront</u> street	10'	10'	
Side street	20'	20'	
H <u>Street-facing entry</u>	<u>Required</u>	<u>Required</u>	
Primary-street	40'	40'	
Side-street	60'	60'	
Entry feature	Recessed entry Covered entry Forecourt		
5. Fences and Walls		Sec. XX.XX.	
	Res.	Nonres.	
Front yard	Type 1	Type 4	
Side street yard	Type 2	Type 4	
Side / rear yard	Type 3	Type 5	

SEC. 2.5.5. UC4 URBAN CORE 4

A. Lot Standards



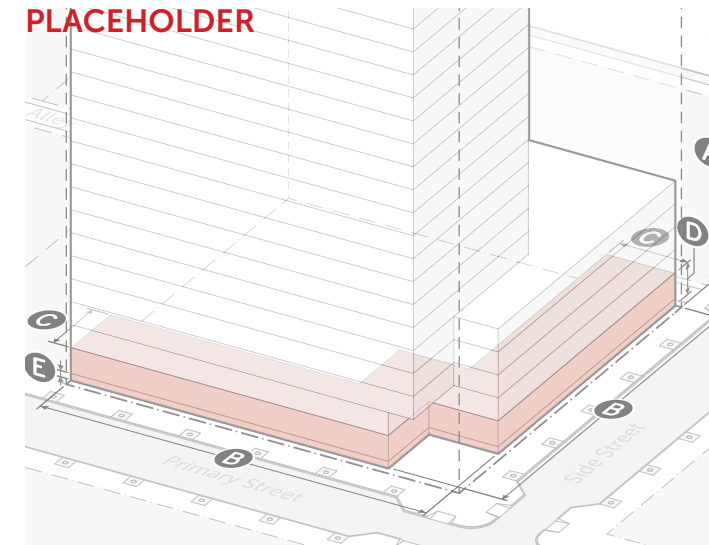
1. Lot Size	<i>Sec. XX.XX.</i>
A Area (min)	<u>None</u>
B Width (min)	<u>None</u>
2. Density	<i>Sec. XX.XX.</i>
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	
<u>Base</u>	<u>25.0</u>
<u>With bonus</u>	<u>35.0</u>
3. Coverage	<i>Sec. XX.XX.</i>
<u>Building coverage (max)</u>	<u>None</u>
C Outdoor amenity space (min)	10%
4. Streetscapes	<i>Sec. XX.XX.</i>
Landscape <u>Amenity</u> zone	Required
Pedestrian walk zone	Required
<u>Front and side street</u> yard landscaping	
<u>Residential</u>	<u>Required</u>
<u>Nonresidential / storefront</u>	<u>Not required</u>



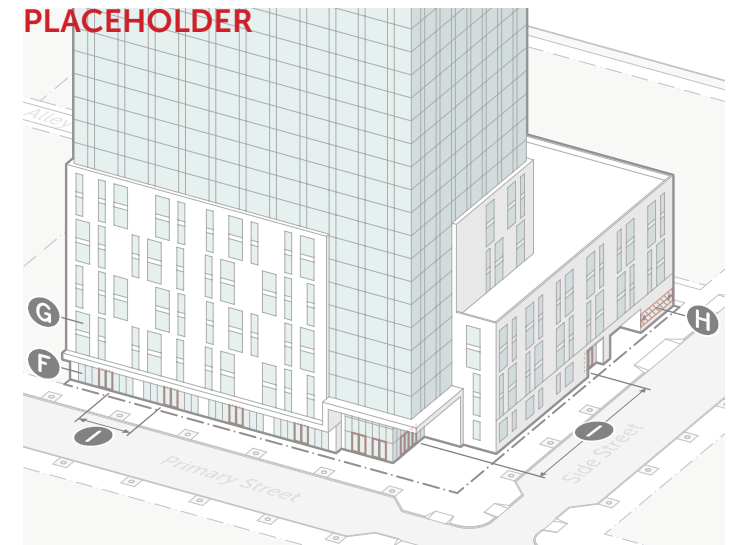
5. Building Setbacks	<i>Sec. XX.XX.</i>
D <u>Street setback (min/max)</u>	See Streetscape Map
E Side setback (min)	0'
F Rear alley setback (min)	0'
6. Build-To	<i>Sec. XX.XX.</i>
Build-to width (min)	
G Primary <u>/storefront</u> street	85%
H Side street	65%
7. Parking Location	<i>Sec. XX.XX.</i>
No parking allowed between building and street	

UC4 URBAN CORE 4

B. Building Standards



1. Massing	<i>Sec. XX.XX.</i>
A Building height (stories/feet)	
Minimum height	3 stories / 35'
Maximum height	Unlimited
B Building width (max)	175'
2. Activation	<i>Sec. XX.XX.</i>
C Active depth (min stories/feet)	
Primary / <u>storefront</u> street	All stories + 30'
Side street	All stories + 15'
3. Ground Story	<i>Sec. XX.XX.</i>
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'



4. Windows and Doors		Sec. XX.XX.	
	Res.	Nonres.	
F Ground story windows (min)			
Primary / <u>storefront</u> street	70%	70%	
Side street	<u>25%</u>	50%	
G Upper story windows (min)	20%	20%	
I Blank wall width (max)			
Primary / <u>storefront</u> street	10'	10'	
Side street	20'	20'	
H <u>Street-facing entry</u>	<u>Required</u>	<u>Required</u>	
Primary-street	40'	40'	
Side-street	60'	60'	
Entry feature	Recessed entry Covered entry Forecourt		
5. Fences and Walls		Sec. XX.XX.	
	Res.	Nonres.	
Front yard	Type 1	Type 4	
Side street yard	Type 2	Type 4	
Side / rear yard	Type 3	Type 5	

DIVISION 2.6. **WORKPLACE FLEX DISTRICTS**



Sec. 2.6.1. **Intent**

Workplace Flex Form Districts are intended to accommodate a variety building types that are typically moderate- to higher-intensity and in areas that are intended to become more vibrant pedestrian-friendly environments. These Form Districts require tall ground floors to accommodate a variety of uses on the ground story.

Workplace Flex Form Districts are typically paired with Use Districts that allow low-impact industrial and manufacturing uses while also allowing for residential opportunities and retail, service, and commercial activities in a vibrant, pedestrian-friendly environment.

Workplace-Flex-districts are generally intended for areas designated as Conservation-Production, Growth-Corridor, and Growth-Cluster in Atlanta City Design.

Sec. 2.6.2. **Summary of Districts**

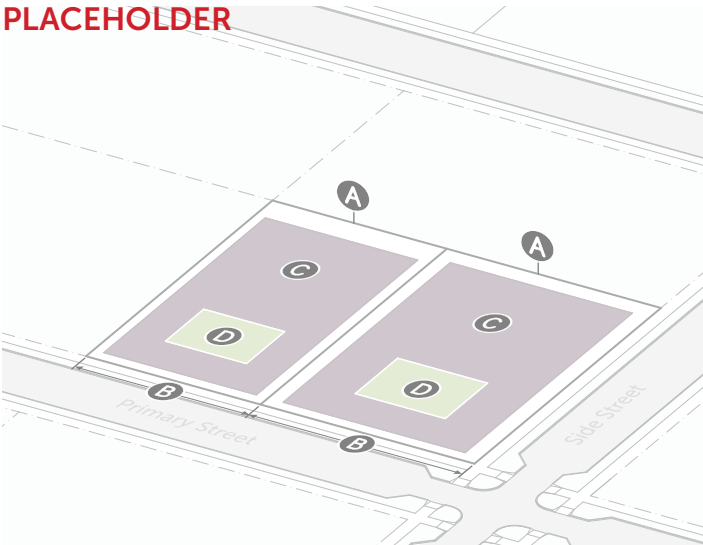
The following table includes a summary of some requirements for each Workplace Flex Form District. Detailed requirements are further described in this Division.

WORKPLACE FLEX DISTRICTS				
District	Lot Area (min)	Lot Width (min)	FAR (GLA max)	Height (max)
WX5	None	None	3.5	5 stories / 65'
WX15	None	None	3.5	15 stories / 210'

SEC. 2.6.3. **WX5** WORKPLACE FLEX 5

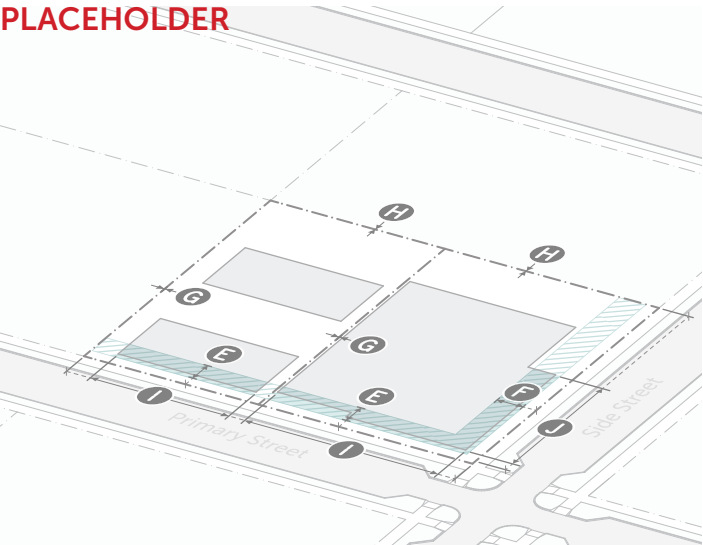
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	None
B Width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	3.5
3. Coverage	Sec. XX.XX.
C Building coverage (max)	85%
D Outdoor amenity space (min)	10%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required
Front and side street yard landscaping	
Residential	Required
Industrial	Required
Other uses / storefront	Not required

PLACEHOLDER

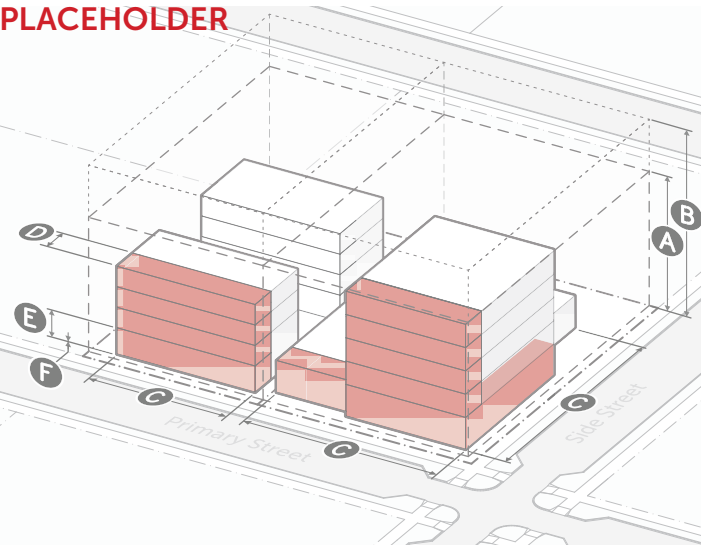


5. Building Setbacks	Sec. XX.XX.
E Street setback (min/max)	
Primary / storefront street	5' / 20'
Side street	5' / 20'
F Side setback (min)	0'
G Rear setback (min)	0'
Alley setback (min)	5'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Build-To	Sec. XX.XX.
Build-to width (min)	
H Primary / storefront street	75%
I Side street	45%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

WX5 WORKPLACE FLEX 5

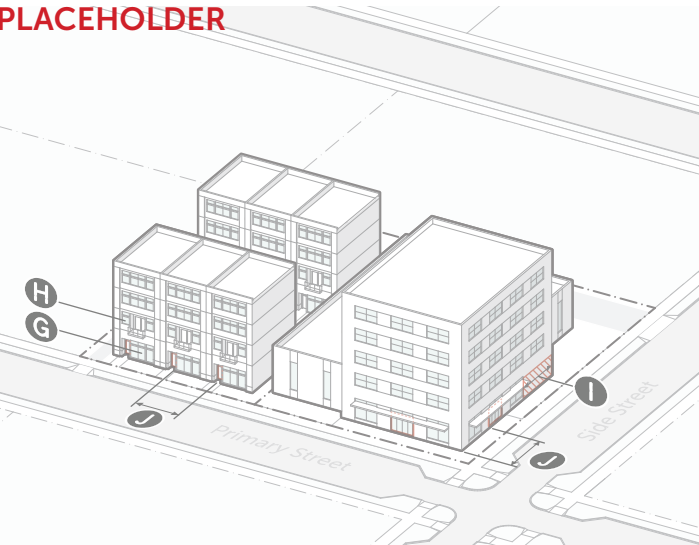
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	5 stories / 65'
B Building width (max)	275'
2. Activation	Sec. XX.XX.
C Active depth (min stories/feet)	
Primary / storefront street	1-story / 20'
Side street	1-story / 10'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'

PLACEHOLDER

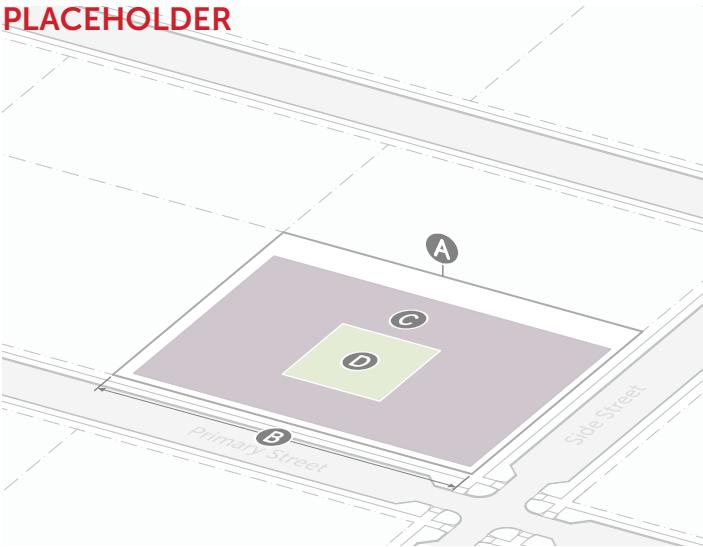


4. Windows and Doors	Sec. XX.XX.		
	Res.	Ind.	Other
F Ground story windows (min)			
Primary / storefront street	30%	30%	65%
Side street	25%	15%	25%
G Upper story windows (min)	20%	None	20%
H Blank wall width (max)			
Primary / storefront street	20'	75'	20'
Side street	40'	75'	40'
I Street-facing entry	Req'd	Req'd	Req'd
5. Fences and Walls	Sec. XX.XX.		
	Res.	Ind.	Other
Front yard	Type 1	Type 6	Type 4
Side street yard	Type 2	Type 6	Type 4
Side / rear yard	Type 3	Type 7	Type 5

SEC. 2.6.4. **WX15** WORKPLACE FLEX 15

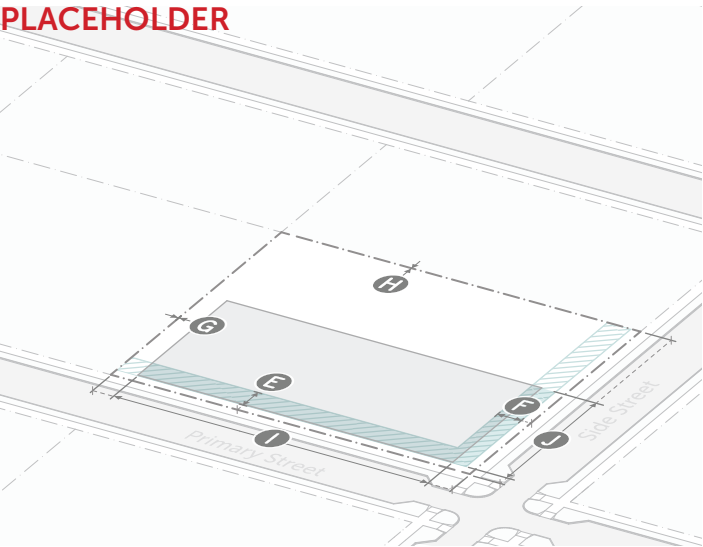
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	None
B Width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	3.5
3. Coverage	Sec. XX.XX.
C Building coverage (max)	85%
D Outdoor amenity space (min)	10%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required
Front and side street yard landscaping	
Residential	Required
Industrial	Required
Other uses / storefront	Not required

PLACEHOLDER

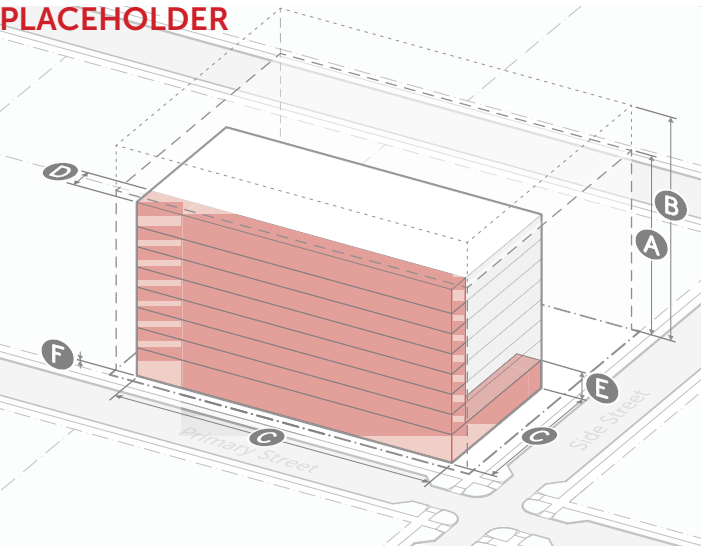


5. Building Setbacks	Sec. XX.XX.
E Street setback (min/max)	
Primary / storefront street	5' / 20'
Side street	5' / 20'
F Side setback (min)	0'
G Rear setback (min)	0'
Alley setback (min)	5'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Build-To	Sec. XX.XX.
Build-to width (min)	
H Primary / storefront street	75%
I Side street	45%
8. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

WX15 WORKPLACE FLEX 15

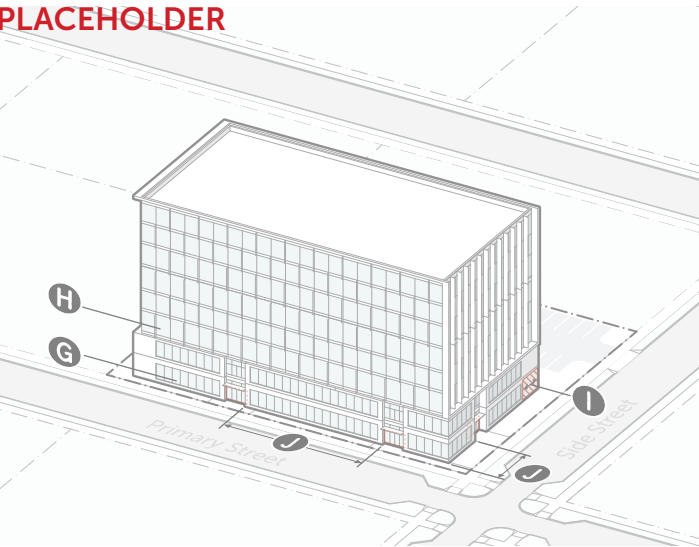
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	15 stories / 210'
B Building width (max)	275'
2. Activation	Sec. XX.XX.
C Active depth (min-stories/feet)	
Primary / storefront street	1-story / 20'
Side street	1-story / 10'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'

PLACEHOLDER



4. Windows and Doors	Sec. XX.XX.		
	Res.	Ind.	Other
F Ground story windows (min)			
Primary / storefront street	30%	30%	65%
Side street	25%	15%	25%
G Upper story windows (min)	20%	None	20%
I Blank wall width (max)			
Primary / storefront street	20'	75'	20'
Side street	40'	75'	40'
H Street-facing entry	Req'd	Req'd	Req'd
5. Fences and Walls	Sec. XX.XX.		
	Res.	Ind.	Other
Front yard	Type 1	Type 6	Type 4
Side street yard	Type 2	Type 6	Type 4
Side / rear yard	Type 3	Type 7	Type 5

DIVISION 2.7. **WORKPLACE DISTRICTS**



PLACEHOLDER
FOR GRAPHIC

Sec. 2.7.1. **Intent**

Workplace Form Districts are intended to accommodate larger-footprint buildings generally in auto-oriented areas with limited walkability to residential, retail, service, and other commercial uses.

Workplace Form Districts are generally paired with Use Districts that allow a range of commercial and industrial activities, including those where outdoor storage is needed.

Workplace districts are generally intended for areas designated as Conservation-Production in Atlanta-City Design.

Sec. 2.7.2. **Summary of Districts**

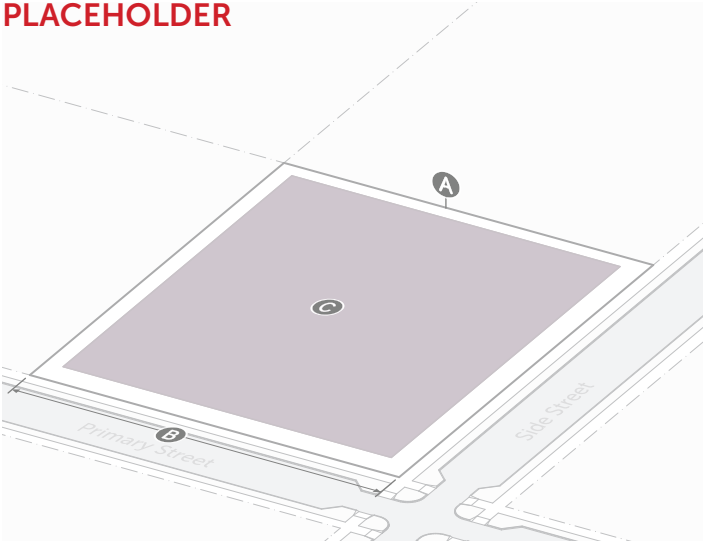
The following table includes a summary of some requirements for each Workplace Form District. Detailed requirements are further described in this Division.

WORKPLACE FLEX DISTRICTS				
District	Lot Area (min)	Lot Width (min)	FAR (GLA max)	Height (max)
W1	None	None	2.0	Unlimited
W2	None	None	2.0	Unlimited

SEC. 2.7.3. **W1** WORKPLACE 1

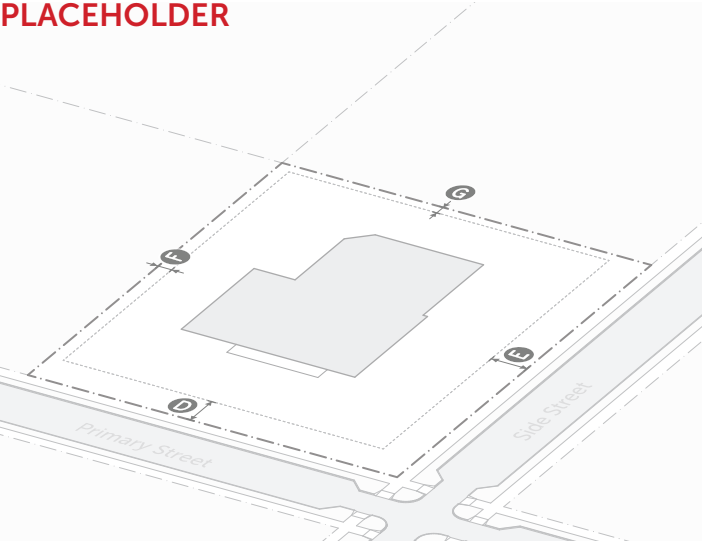
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	None
B Width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
C FAR (GLA max)	2.0
3. Coverage	Sec. XX.XX.
Building coverage (max)	80%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

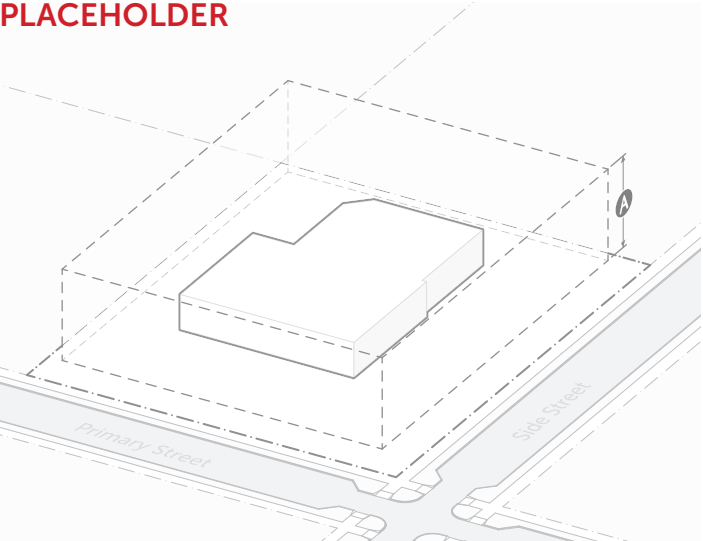


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	30'
E Side street	15'
F Side setback (min)	5'
G Rear /-alley- setback (min)	5'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Parking Location	Sec. XX.XX.
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

W1 WORKPLACE 1

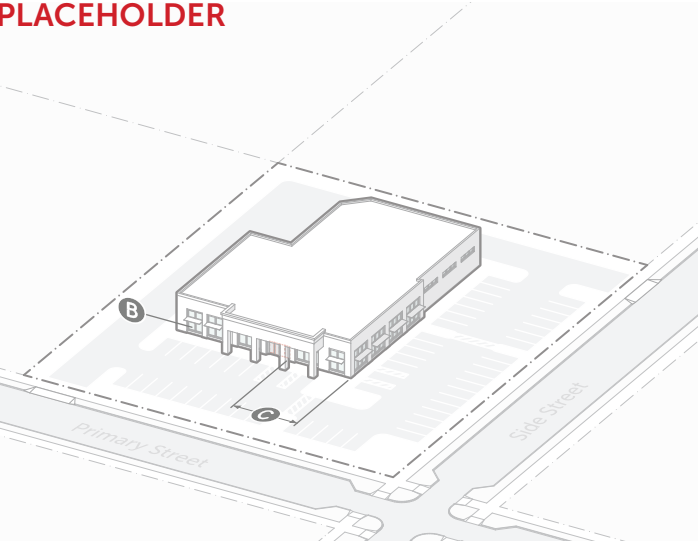
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	Unlimited
Building width (max)	Unlimited

PLACEHOLDER

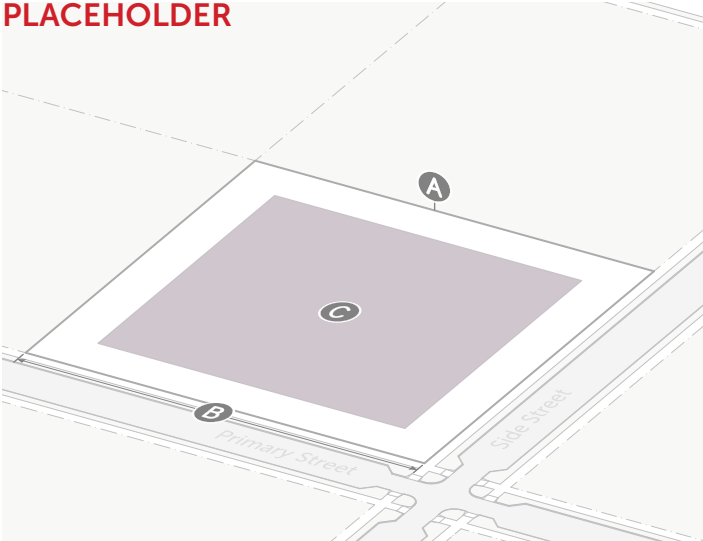


2. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary street	30%
Side street	15%
G Upper story windows (min)	None
I Blank wall width (max)	None
H Street-facing entry	Required
Primary-street	150'
Side-street	None
Entry feature	Raised-Entry Covered entry
3. Fences and Walls	Sec. XX.XX.
Front yard	Type 6
Side street yard	Type 6
Side / rear yard	Type 7

SEC. 2.7.4. **W2** WORKPLACE 2

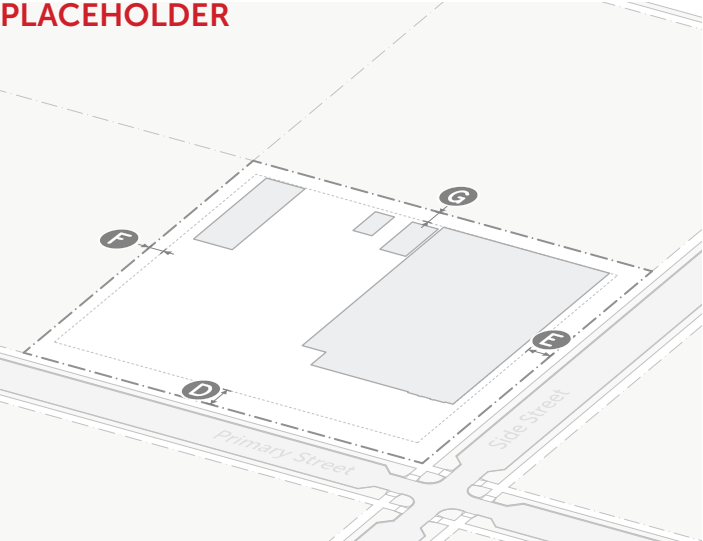
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	None
B Width (min)	None
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
C FAR (GLA max)	2.0
3. Coverage	Sec. XX.XX.
Building coverage (max)	70%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

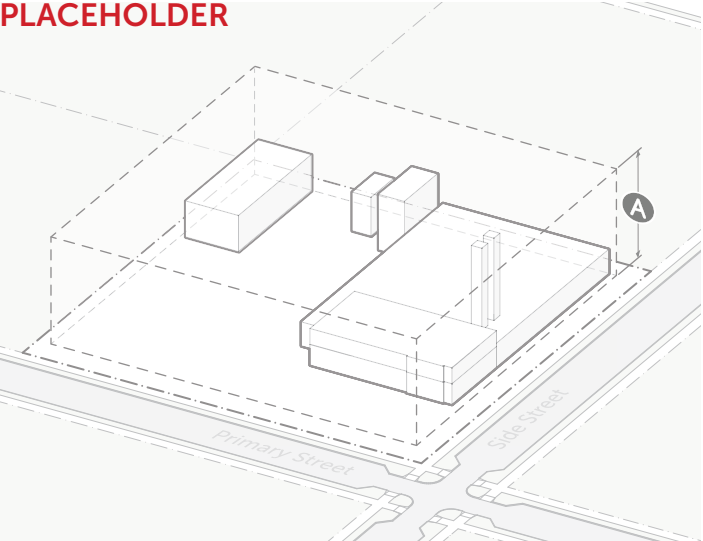


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
D Primary street	40'
E Side street	20'
F Side setback (min)	10'
G Rear /alley setback (min)	10'
6. Transition	Sec. XX.XX.
Transition type	High
7. Parking Location	Sec. XX.XX.
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

W2 WORKPLACE 2

B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	Unlimited
Building width (max)	Unlimited
2. Fences and Walls	Sec. XX.XX.
Front yard	Type 6
Side street yard	Type 6
Side / rear yard	Type 7

DIVISION 2.8. **SPECIAL DISTRICTS**



Sec. 2.8.1. **Intent**

Special Form Districts are intended to accommodate a mix of building types that serve the surrounding neighborhoods and produce activities that do not readily assimilate into other districts. Campus (CM) is intended for campus-like settings with larger lots, more open space, and larger buildings, and allows for activities including mixed employment and technology hubs and hospitals. Civic (CV) is intended for public, civic, and institutional uses. Park (PK) is intended to create, preserve, and enhance parkland and environmentally sensitive areas.

Sec. 2.8.2. **Summary of Districts**

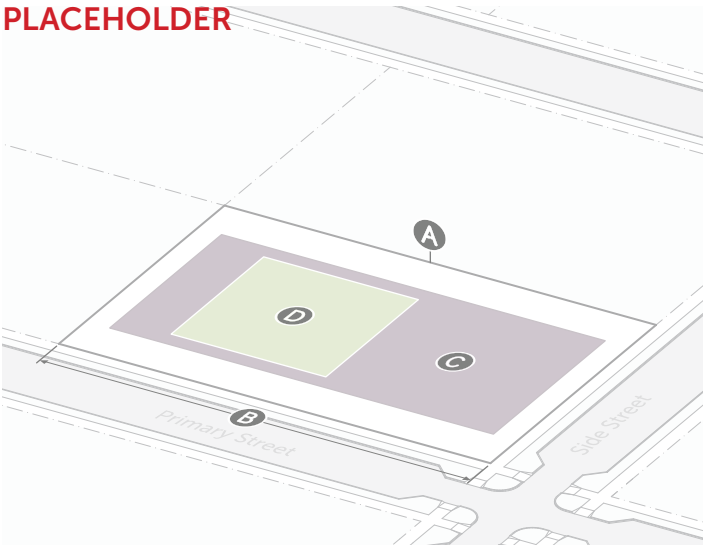
The following table includes a summary of some requirements for each Special Form District. Detailed requirements are further described in this Division.

SPECIAL DISTRICTS				
District	Lot Area (min)	Lot Width (min)	FAR (GLA max)	Height (max)
CM	None	100'	6.0	Unlimited
CV	10,000 sf	50'	None	5 stories / 70'
PK	2,000 sf	20'	None	35'

SEC. 2.8.3. CM CAMPUS

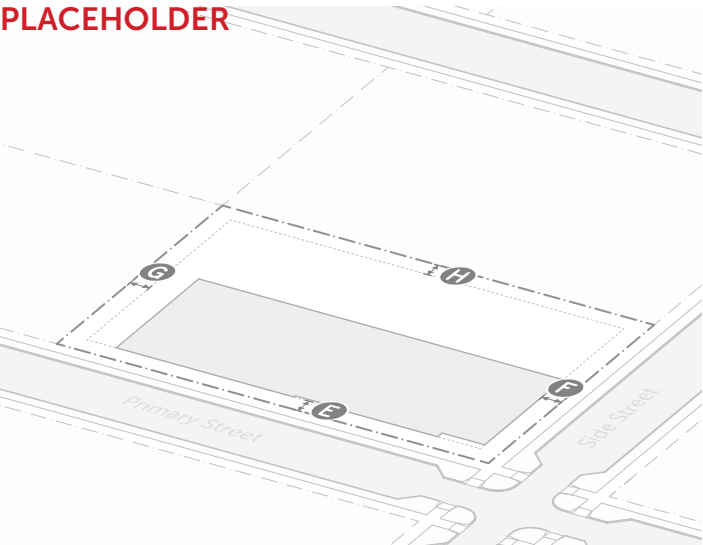
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	None
B Width (min)	100'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Unlimited
FAR (GLA max)	6.0
3. Coverage	Sec. XX.XX.
C Building coverage (max)	60%
D Outdoor amenity space (min)	20%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

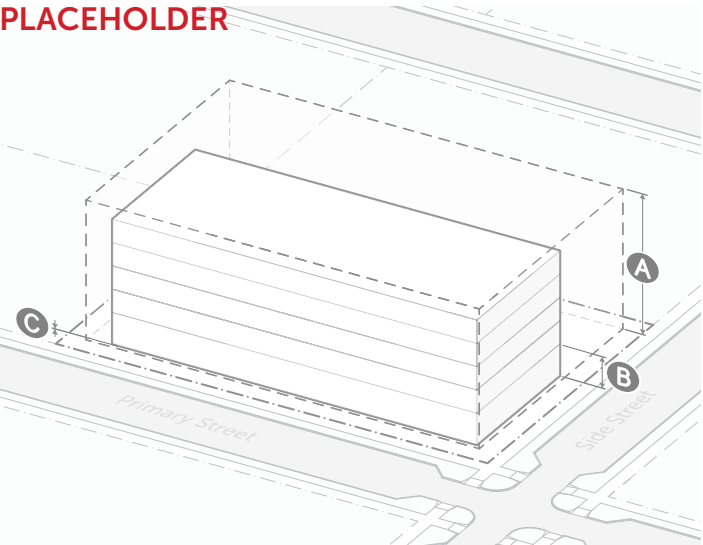


5. Building Setbacks	Sec. XX.XX.
Street setback (min)	
E Primary / storefront street	40'
F Side street	20'
F Side setback (min)	15'
H Rear / alley setback (min)	15'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Parking Location	Sec. XX.XX.
Front yard	Not allowed
Side street yard	Allowed
Side / rear yard	Allowed

CM CAMPUS

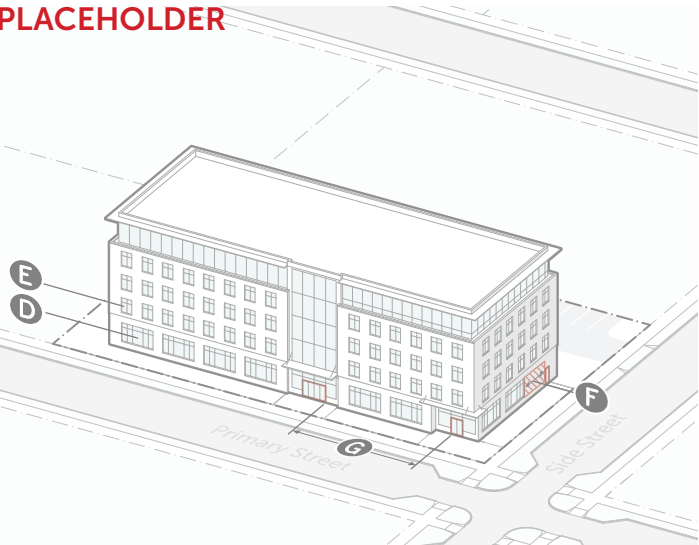
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	Unlimited
Building width (max)	Unlimited
2. Ground Story	Sec. XX.XX.
B Ground story height (min)	10'
C Ground story elevation (min/max)	-2' / 4'

PLACEHOLDER

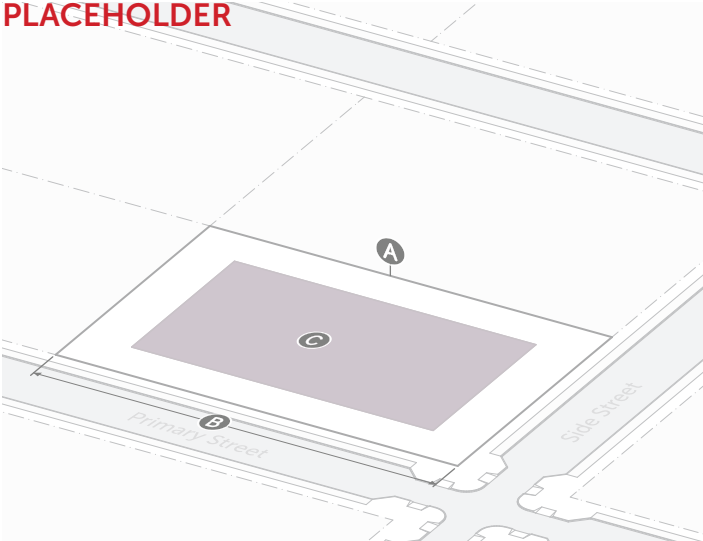


3. Windows and Doors	Sec. XX.XX.
D Ground story windows (min)	30%
E Upper story windows (min)	15%
F Blank wall width (max)	
Primary / storefront street	25'
Side street	50'
G Street-facing entry	Required
Primary / storefront street	200'
Side street	250'
Entry feature	Porch Raised Entry Forecourt Covered entry Forecourt
4. Fences and Walls	Sec. XX.XX.
Front yard	Type 4
Side street yard	Type 4
Side / rear yard	Type 5

SEC. 2.8.4. **CV** CIVIC

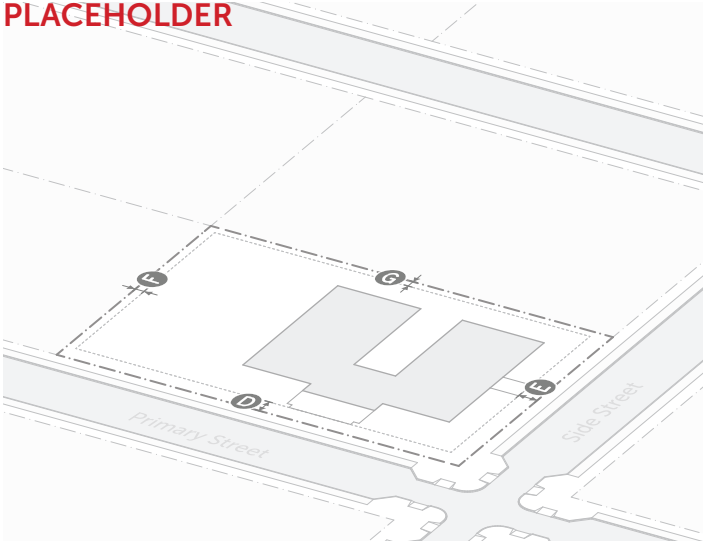
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	10,000 sf
B Width (min)	50'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
3. Coverage	Sec. XX.XX.
C Building coverage (max)	50%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

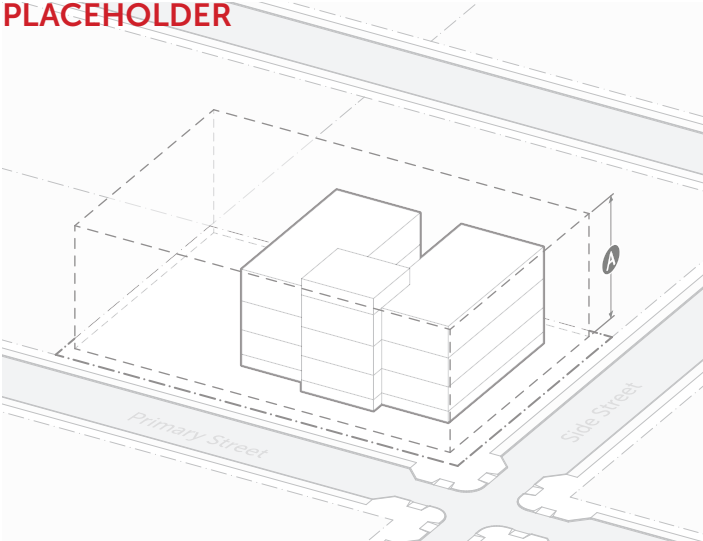


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary / storefront street	10'
Side street	10'
E Side setback (min)	5'
F Rear / alley setback (min)	5'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Parking Location	Sec. XX.XX.
Front yard	Not allowed
Side street yard	Allowed
Side / rear yard	Allowed

CV CIVIC

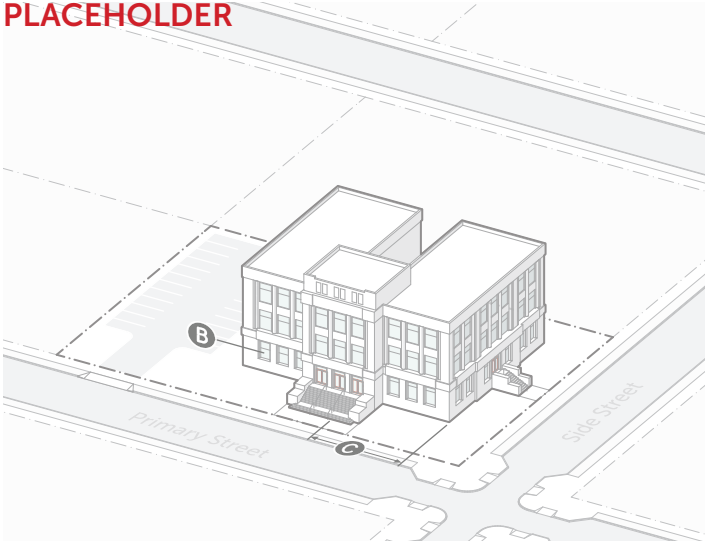
B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	5 stories / 68'
Building width (max)	Unlimited

PLACEHOLDER

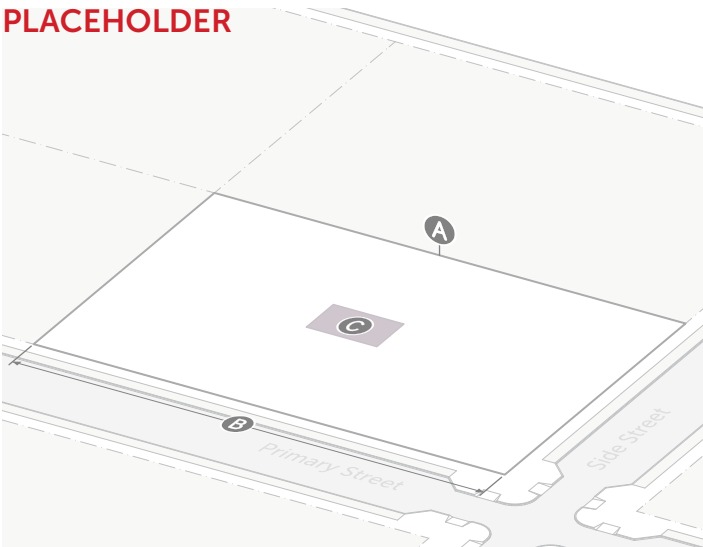


2. Windows and Doors	Sec. XX.XX.
B Ground story windows (min)	20%
Upper story windows (min)	None
Blank wall width (max)	None
C Street-facing entry	Required
Primary / storefront street	200'
Side street	250'
Entry feature	Porch Raised Entry Forecourt Covered entry Forecourt
3. Fences and Walls	Sec. XX.XX.
Front yard	Type 4
Side street yard	Type 4
Side / rear yard	Type 5

SEC. 2.8.5. PK PARK

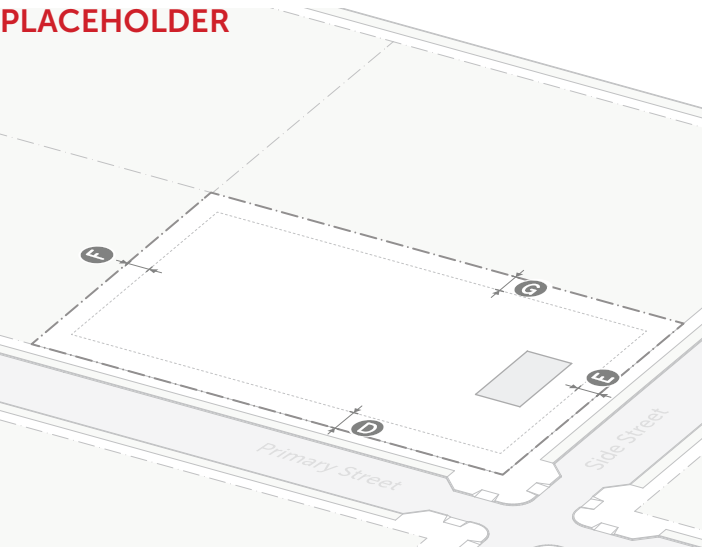
A. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	2,000 sf
B Width (min)	20'
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Not allowed
3. Coverage	Sec. XX.XX.
C Building coverage (max)	15%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

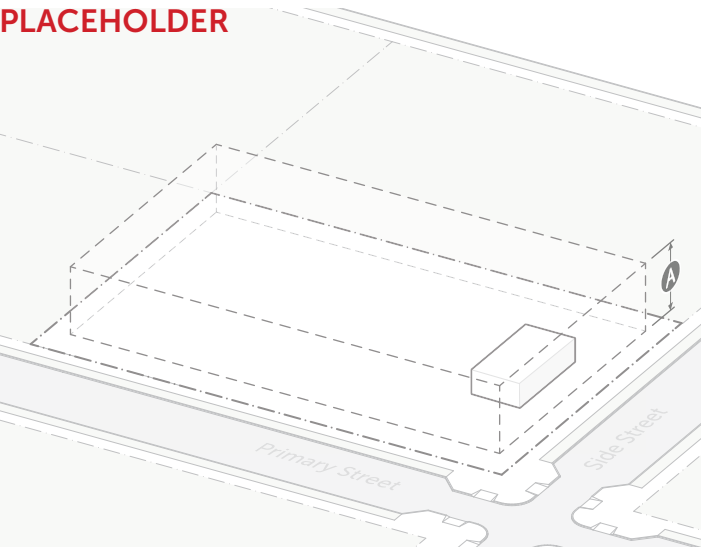


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary / storefront street	10'
Side street	10'
E Side setback (min)	10'
F Rear / alley setback (min)	5'
6. Transition	Sec. XX.XX.
Transition type	Medium
7. Parking Location	Sec. XX.XX.
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

PK PARK

B. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	35'

DIVISION 2.9. ALTERNATE FORMS

Sec. 2.9.1. Intent

Alternate Forms are intended to provide an option to override some standards in the underlying Form District when the standards would otherwise prohibit a desired development configuration for certain uses. In exchange for greater flexibility on some standards, Alternate Forms may require other, higher standards to ensure the development outcomes are contextually appropriate.

Sec. 2.9.2. Applicability

A. How to Use Alternate Forms

A development may choose to use an Alternate Form instead of the underlying standards of the Form District if all the following criteria are met:

- 1. The underlying Form District must be listed as an eligible district;
- 2. The underlaying Use District (Chapter 4) must allow the eligible use; and
- 3. The lot must contain one of the eligible uses.

B. Relationship to Form Districts

- 1. Where a standard is listed in an Alternate Form and the underlying Form District, the standard listed in this Division supersedes the standard listed for the underlying Form District.
- 2. The underlying Form District standard applies when an Alternate Form:
 - a. Defers to the underlying Form District (for example, "Set by Form District");
 - b. Provides no requirement for a standard listed by the underlying Form District; or
 - c. Does not list a standard that is listed by the underlying Form District.

C. Relationship to Use Districts

For uses with additional standards listed in Div. 4.4. Use Standards, the Use District supersedes any conflicting standard listed in the Alternate Form.

Sec. 2.9.3. Corner Store

A. Intent

Corner Store is intended to accommodate small-scale, neighborhood-serving commercial uses at a scale appropriate for predominately residential settings and encourage the reuse of existing neighborhood commercial buildings. This Alternate Form intends to improve the walkability of residential neighborhoods, provide surrounding residents with amenities within a convenient distance of their homes, and support community-oriented small business development.

B. Eligible Form Districts

When the Use District allows an eligible use, and the lot contains an eligible use, Corner Store is allowed in the following Form Districts:

- 1. Neighborhood-Scale (N-); and
- 2. Urban General (UG-).

C. Eligible Uses

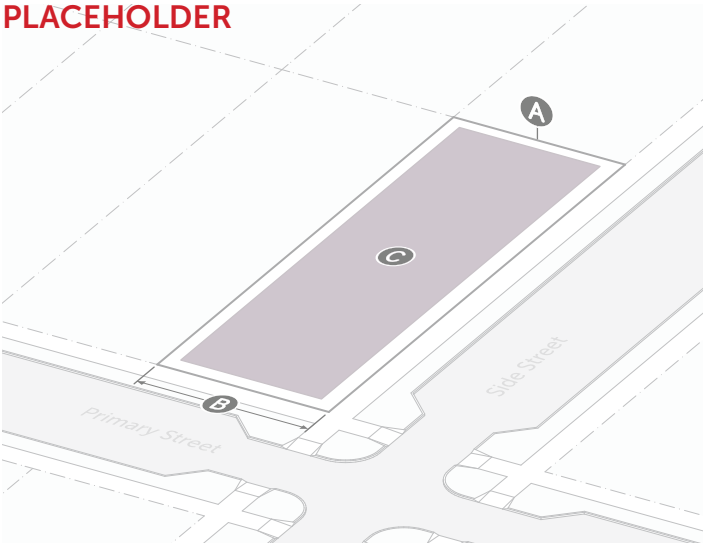
When the lot is in an eligible Form District and the use is allowed by the Use District, Corner Store is allowed for the following uses:

- 1. Live-work;
- 2. General food and beverage;
- 3. Bakery, wholesale;
- 4. Bar;
- 5. Catering establishment;
- 6. General medical;
- 7. General office;
- 8. Sound recording studio;
- 9. General personal service;
- 10. Hair or nail salon;
- 11. Laundry service;
- 12. General retail;
- 13. Artisan workshop;
- 14. Grocery store; and
- 15. Small discount variety store.

CORNER STORE

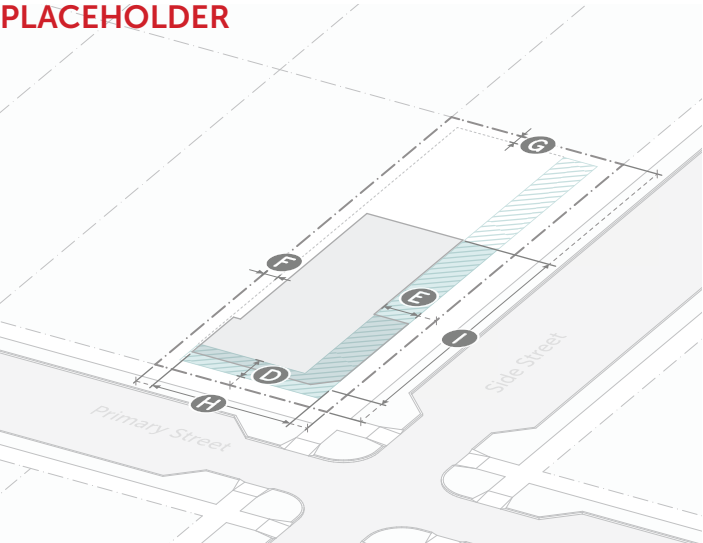
D. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	Set by Form District
B Width (min)	Set by Form District
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Set by Form District
3. Coverage	Sec. XX.XX.
C Building coverage (max)	Set by Form District
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

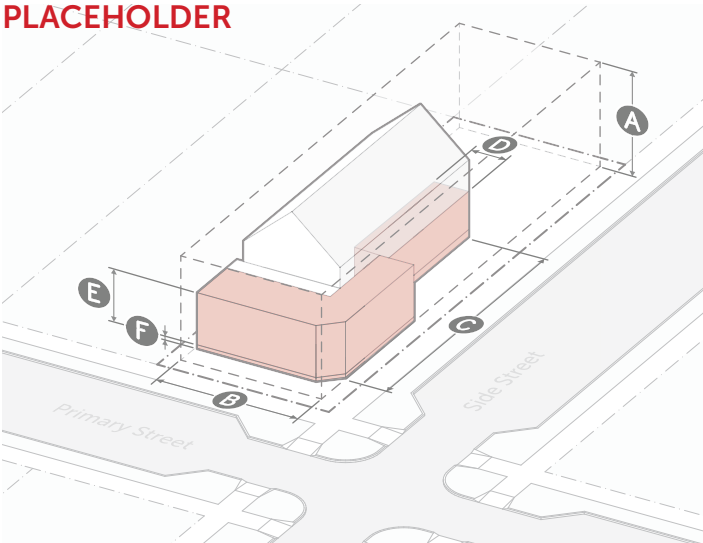


5. Building Setbacks	Sec. XX.XX.
D Street setback (min/max)	
Primary / storefront street	5' / 15'
Side street	5' / 15'
E Side setback (min)	4'
F Rear /alley setback (min)	4'
6. Build-To	Sec. XX.XX.
Build-to width (min)	
Primary / storefront street	80%
Side street	60%
7. Parking Location	Sec. XX.XX.
No parking allowed between building and street	

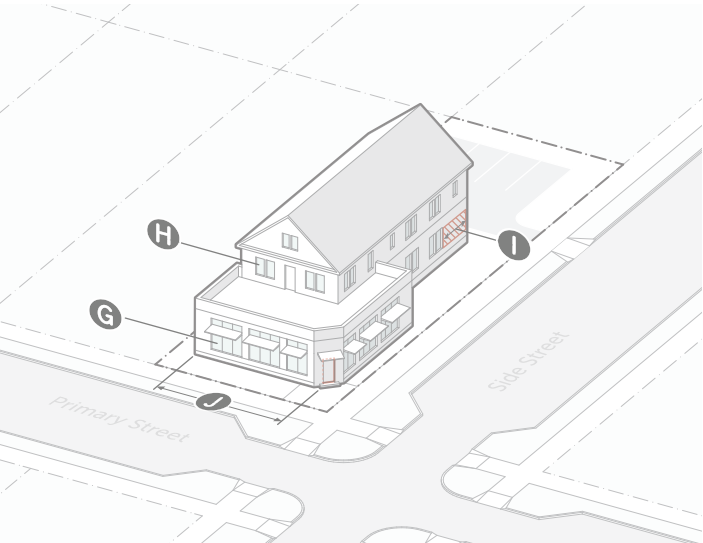
CORNER STORE

E. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max stories/feet)	2.5 stories / 35'
B Building width (max)	
Primary / storefront street	40'
Side street	70'
2. Massing	Sec. XX.XX.
C Active depth (feet)	
Primary / storefront street	15'
Side street	15'
3. Ground Story	Sec. XX.XX.
D Ground story height (min)	14'
E Ground story elevation (min/max)	-2' / 4'



4. Windows and Doors	Sec. XX.XX.
F Ground story windows (min)	
Primary / storefront street	50%
Side street	25%
G Upper story windows (min)	20%
H Blank wall width (max)	
Primary / storefront street	10'
Side street	20'
I Street-facing entry	Required
Primary-street	30'
Side-street	50'
Entry feature	Raised Entry Covered entry Forecourt
5. Fences and Walls	Sec. XX.XX.
Front yard	Type 4
Side street yard	Type 4
Side / rear yard	Type 5

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Sec. 2.9.4. **Civic Institution**

A. **Intent**

Civic Institution is intended to promote placemaking through architectural monuments and publicly accessible civic spaces. This Alternate Form allows greater design flexibility for civic institutions to differentiate civic assets from the surrounding built environment.

B. **Eligible Form Districts**

When the Use District allows an eligible use, and the lot contains an eligible use, Civic Institution is allowed in the following Form Districts:

- 1. House-Scale (H-)
- 2. Neighborhood-Scale (N-);
- 3. Urban General (UG-);
- 4. Urban Core (UC-);
- 5. Workplace Flex (WX-); and
- 6. Workplace (W-).

C. **Eligible Uses**

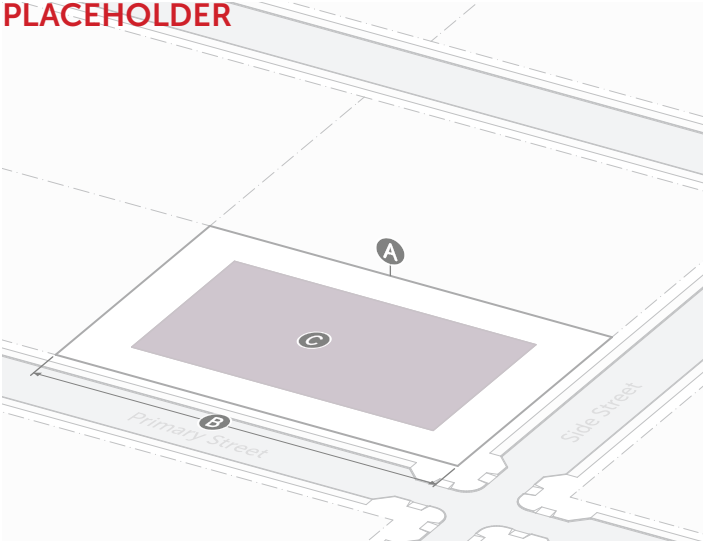
When the lot is in an eligible Form District and the use is allowed by the Use District, Civic Institution is allowed for the following uses:

- 1. General civic;
- 2. Community center, private;
- 3. Library or museum, private;
- 4. Religious assembly;
- 5. General private education; and
- 6. College or university, private.

CIVIC INSTITUTION

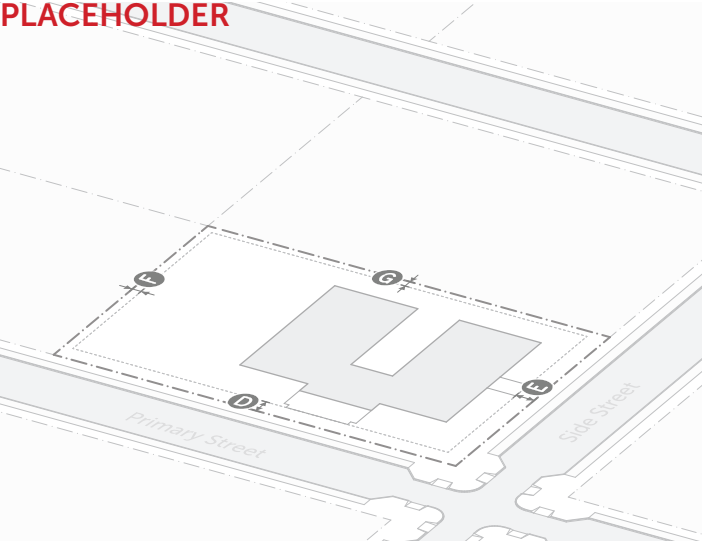
D. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	Set by Form District
B Width (min)	Set by Form District
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Set by Form District
3. Coverage	Sec. XX.XX.
C Building coverage (max)	Set by Form District
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

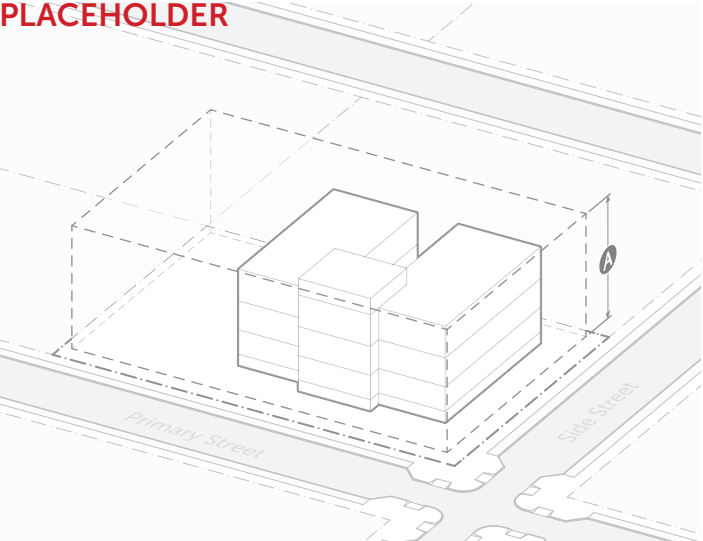


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary / storefront street	10'
Side street	10'
E Side setback (min)	5'
F Rear / alley setback (min)	5'
6. Parking Location	Sec. XX.XX.
Front yard	Not allowed
Side street yard	Allowed
Side / rear yard	Allowed

CIVIC INSTITUTION

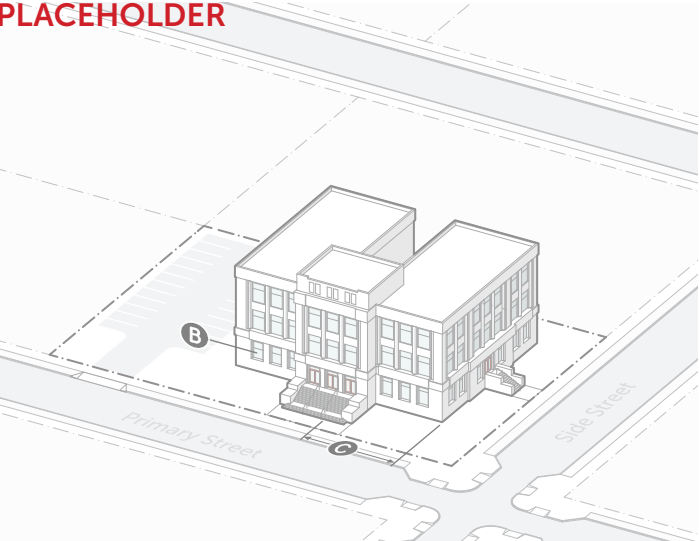
E. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	Set by Form District
Building width (max)	None

PLACEHOLDER



2. Windows and Doors	Sec. XX.XX.
B Ground story windows (min)	20%
Upper story windows (min)	None
Blank wall width (max)	None
C Street-facing entry	Required
Primary street	200'
Side street	250'
Entry feature	Porch Raised Entry Forecourt Covered entry Forecourt
3. Fences and Walls	Sec. XX.XX.
Front yard	Type 4
Side street yard	Type 4
Side / rear yard	Type 5

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Sec. 2.9.5. **Park**

A. **Intent**

Park is intended to allow greater flexibility for parks, open space, and utility uses, as well as land-based uses such as urban agriculture and gardening.

B. **Eligible Form Districts**

When the Use District allows an eligible use, and the lot contains an eligible use, Civic Institution is allowed in the following Form Districts:

- 1. House-Scale (H-)
- 2. Neighborhood-Scale (N-);
- 3. Urban General (UG-);
- 4. Urban Core (UC-);
- 5. Workplace Flex (WX-); and
- 6. Workplace (W-).

C. **Eligible Uses**

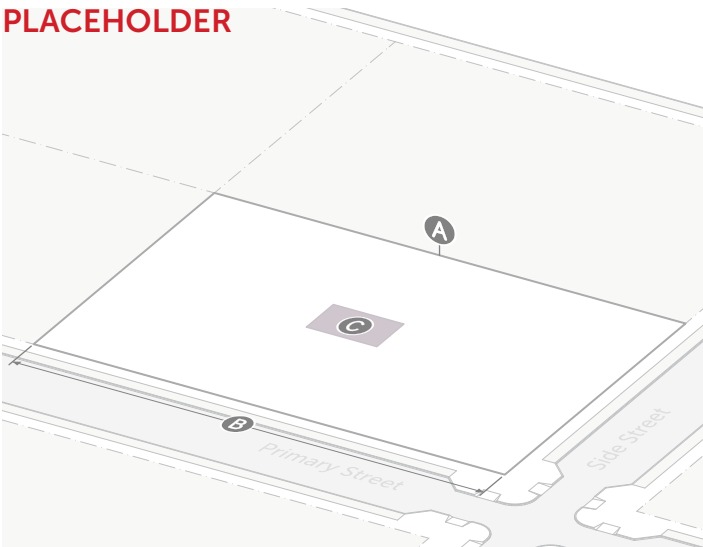
When the lot is in an eligible Form District and the use is allowed by the Use District, Civic Institution is allowed for the following uses:

- 1. General parks and open space; and
- 2. Cemetery.

PARK

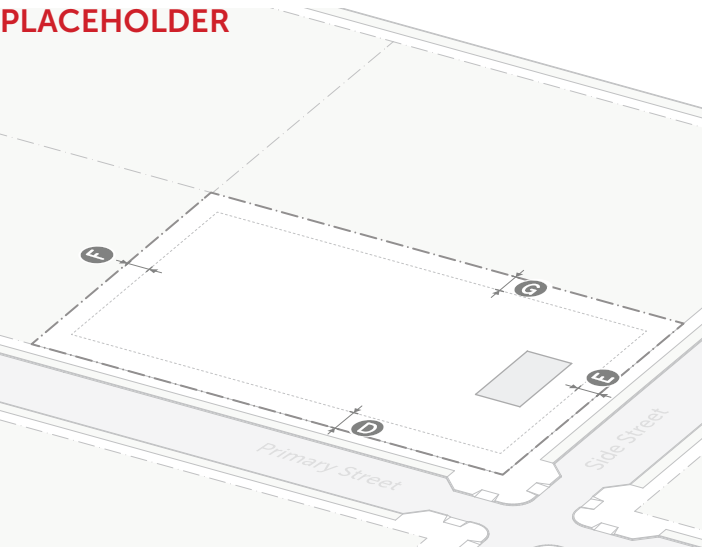
D. Lot Standards

PLACEHOLDER



1. Lot Size	Sec. XX.XX.
A Area (min)	Set by Form District
B Width (min)	Set by Form District
2. Density	Sec. XX.XX.
Dwelling units per lot (max)	Set by Form District
3. Coverage	Sec. XX.XX.
C Building coverage (max)	15%
4. Streetscapes	Sec. XX.XX.
Landscape Amenity zone	Required
Pedestrian walk zone	Required

PLACEHOLDER

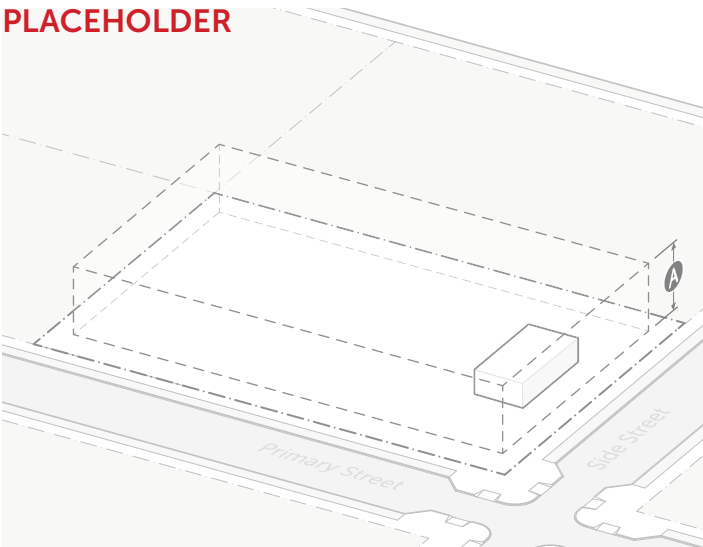


5. Building Setbacks	Sec. XX.XX.
D Street setback (min)	
Primary / storefront street	10'
Side street	10'
E Side setback (min)	10'
F Rear / alley setback (min)	5'
6. Parking Location	Sec. XX.XX.
Front yard	Allowed
Side street yard	Allowed
Side / rear yard	Allowed

PARK

E. Building Standards

PLACEHOLDER



1. Massing	Sec. XX.XX.
A Building height (max)	35'
Building width (max)	None
2. Fences and Walls	Sec. XX.XX.
Front yard	Type 4
Side street yard	Type 4
Side / rear yard	Type 5